January 29, 2024

Members of the Project Review Board,

Please see attached revisions for a proposed mixed use construction at 30 Morse Street. These revisions are based on feedback we have received from Project Review Board members during meetings on June 21 and July 19, 2023.

To review, our hope is to utilize the existing foundation in good condition on the site. As such, the design of the structure is governed by the existing footprint and the local zoning ordinance - Design Review District 1 and Village Commercial 1. There are no historically significant Class A or B structures along the block of Morse St. that the project is located on and should relate specifically to. Developing this site will bring a long vacant, unappealing lot back to life as a small energy efficient residence and office in an area that is in need of new housing.

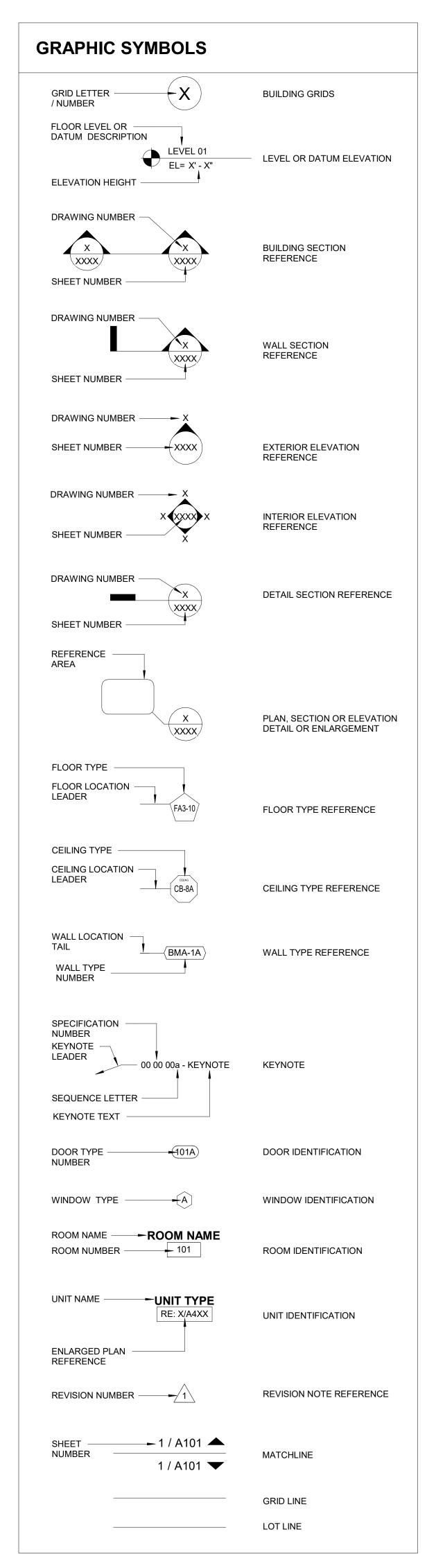
In our view, the original design satisfies the written requirements of Design Review and VC 1, however some concerns were raised by board members.

One primary concern was that of scale. Several board members voiced that they believed it was too tall relative to the neighboring structures. While it was lower than the Morse Street School and mostly surrounded by parking lot, the neighboring structure is a small cottage and the concerns about scale seem to be based on that. With the small lot size of 50' by 50', 2 parking spaces required, and mixed-use – composed of residential and office – all dictated by the Project's zoning VC1, the development of this property would be untenable as a single-story structure while being in compliance with the Zoning Ordinance. Our revised design lowers the roofline down by over 6 feet, by redesigning the roof shape and lowering all ceiling heights to 8 feet. The ground floor system sits inside of the foundation, which also reduces overall height.

Another related concern was the roof shape, with one member pointing out that they would like to see the eave line changed to a consistent height to bring it into context with the design of the Morse Street School, and in doing so reduce the height as well. Our revised design simplifies the roof shape to a nearly flat roof, while retaining some articulation in the walkway between the living space over the garage and main structure, which visually breaks down the mass into two smaller masses.

We also received feedback on the window and siding layout. Our revised design adjusts various window placements to calm the west and east facades and we eliminated the vertical siding entirely, which was exaggerating the height. We retained a "belly band", and introduced a taller siding dimension at the garage to visually break the elevation into two.

Lastly, we received some feedback on the color scheme. The original darker color scheme is our preference, and it could be argued that it minimizes the scale of the structure and complements other existing structures on Morse Street. However, our revised design includes the option of a lighter color scheme.



ABBREVIATIONS

ACSBL.

ADJ.

AVB.

ALT.

BLK.(G)

ABOVE FINISH FLOOR

AIR VAPOR BARRIER

BELOW FINISH FLOOR

BLOCK / BLOCKING

ACCESSIBLE

ADJUSTABLE

ALTERNATE

ALUMINUM ANGLE

AREA DRAIN

APPROX.

BD.	BOARD
BOT.	BOTTOM
BLDG. CAB.	BUILDING CABINET
CIP.	CAST IN PLACE
CLG. CO.	CEILING CENTER OF
CL.	CENTERLINE
CLR.	CLEAR
COL. CONC.	COLUMN CONCRETE
CMU.	CONCRETE MASONRY UNIT
CONN.	CONNECT / CONNECTION
CJ. CONT.	CONTROL JOINT CONTINUOUS
CI.	CONTINUOUS INSULATION
CNTR.	COUNTER
CNTSK. DEMO.	COUNTERSINK / SUNK DEMOLISH / DEMOLITION
Ø / DIA.	DIAMETER
DIM.	DIMENSION
DN. DWG.	DOWN DRAWING
EA.	EACH
ELEC. EL.	ELECTRICAL
EL. EQ.	ELEVATION (METRIC) EQUAL
(E)	EXISTING
EJ. EXT.	EXPANSION JOINT EXTERIOR
FO.	FACE OF
FF.	FINISH FLOOR
FH. FRTW.	FINISH HEIGHT FIRE RATED TREATED WOOD
FSD.	FIRE SEPARATION DISTANCE
FLR.	FLOOR
FD. FTG.	FLOOR DRAIN FOOTING
FND.	FOUNDATION
GA.	GAUGE CLASS / CLAZING
GL. GND.	GLASS / GLAZING GROUND
GWB.	GYPSUM WALL BOARD
HT. HP.	HEIGHT HIGH POINT
HM.	HIGH POINT HOLLOW METAL
HORIZ.	HORIZONTAL
HR. ID.	HOUR INSIDE DIAMETER
INT.	INSIDE DIAMETER INTERIOR
ISS.	ISSUE
JT. J-BOX	JOINT JUNCTION BOX (ELEC.)
JHA.	JURISDICTION HAVING AUTHORITY
LD.	LINEAR DRAIN
<u>LP.</u> MFR.	LOW POINT MANUFACTURER
MO.	MASONRY OPENING
MAX.	MAXIMUM
MECH. MEMB.	MECHANICAL MEMBRANE
MIN.	MINIMUM
MISC. MTL.	MISCELLANEOUS METAL
MTD.	MOUNTED
(N)	NEW
NOM. NIC.	NOMINAL NOT IN CONTRACT
NTS.	NOT TO SCALE
#	NUMBER
OC. OPNG.	ON CENTER OPENING
OPP.	OPPOSITE
OH. OD.	OPPOSITE HAND OUTSIDE DIAMETER
OA.	OVERALL
PTD.	PAINTED
PART. PRMTR.	PARTITION PERIMETER
PRMTR. PL.	PLATE
PLMB.	PLUMBING
PLYWD. PT.	PLYWOOD POINT
PT. PTWD.	POINT PRESSURE TREATED WOOD
RAD.	RADIUS
RE: RCP.	REFER TO REFLECTED CEILING PLAN
REINF.	REINFORCE(D)
REQ. ROW.	REQUIRED / REQUIREMENTS RIGHT OF WAY
ROW. RM.	ROOM
RO.	ROUGH OPENING
SECT. SIM.	SECTION SIMILAR
SHT.	SHEET
STC. SPEC.	SOUND TRANSMISSION COEFFICIENT SPECIFIED / SPECIFICATION
SPEC. SPF.	SPRAY FOAM INSULATION
SQ.	SQUARE
SSTL. STD.	STAINLESS STEEL STANDARD
STRUCT.	STRUCTURE / STRUCTURAL
TERM.	TERMINATE
∴ T&G	THEREFORE TONGUE & GROOVE
TBD.	TO BE DETERMINED
TO.	TOP OF
1 / 3/ 3	TOP OF CURB OR CONCRETE TOP OF WALL
TOC. TOW.	
TOW. TRD.	TREAD
TOW. TRD. TYP.	TYPICAL TYPICAL
TOW. TRD. TYP. UNO.	TYPICAL UNLESS NOTED OTHERWISE
TOW. TRD. TYP. UNO. VIF. VERT.	TYPICAL UNLESS NOTED OTHERWISE VERIFY IN FIELD VERTICAL
TOW. TRD. TYP. UNO. VIF. VERT. WP.	TYPICAL UNLESS NOTED OTHERWISE VERIFY IN FIELD VERTICAL WATERPROOF
TOW. TRD. TYP. UNO. VIF. VERT. WP. WT.	TYPICAL UNLESS NOTED OTHERWISE VERIFY IN FIELD VERTICAL WATERPROOF WEIGHT
TOW. TRD. TYP. UNO. VIF. VERT. WP. WT. WDW. W/	TYPICAL UNLESS NOTED OTHERWISE VERIFY IN FIELD VERTICAL WATERPROOF WEIGHT WINDOW WITH
TOW. TRD. TYP. UNO. VIF. VERT. WP. WT. WDW.	TYPICAL UNLESS NOTED OTHERWISE VERIFY IN FIELD VERTICAL WATERPROOF WEIGHT WINDOW

GALE RESIDENCE MORSE ST.

SHEET LIST SHEET# SHEET NAME ISSUE DATE ISSUED FOR COVER SHEET 1/31/24 TOF REV. 2 AS100 1/31/24 TOF REV. 2 SITE PLAN A100 FLOOR PLANS 1/31/24 TOF REV. A101 A200 FLOOR PLANS 1/31/24 TOF-REV. 2 1)/31/24 EXTERIOR ELEVATIONS TOF REV. 2 A201 **EXTERIOR ELEVATIONS - COMPARISON** 1/31/24 A600 SCHEDULES ~ 1/31/24 TOF REV 2 A900 BUILDING ISOMETRICS 1/31/24 TOF REV. 2 RENDERED VIEW & FINISH SPECS 1)(3/1/2/4 TOF REV.2 ALT. RENDERED VIEW & FINISH SPECS



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CLIENT:

CHRIS & **AMANDA STEVENS**

4 ABENAKI WAY FREEPORT, ME 04032

CONSULTANTS:

STRUCTURAL ENGINEER ASSOCIATED DESIGN PARTNERS INC. 80 LEIGHTON RD. FALMOUTH, ME 04105

NO.	DATE	DESCRIPTION
1	5/29/23	INTITIAL TOF REVIEW
2	7/14/23	TOF REV.
3	1/31/24	TOF REV. 2

SEAL & SIGNATURE:

GENERAL NOTES

CODE DESIGN CRITERIA

STREET ADDRESS: 30 MORSE ST. FREEPORT, ME

APPLICABLE ORDINACES & CODES:

ZONING CRITERIA: REFER TO AS-100

CLIMATE ZONE = 6A

FROST DEPTH = 48"

TERMITE = SLIGHT

BUILDING CRITERIA (IBC/IRC REFERENCES)::

CLIMATIC & GEOGRAPHIC CRITERIA:

VC-1, VILLAGE COMMERCIAL

CHAPTER 21 ZONING ORDINANCE

WINTER DESIGN TEMPERATURE = -1° F

OCCÙPANCY TYPE = B (GRÓUND FLR. OFFICE) & R-3

FLOOR = 0ROOF = 0

STRUCTURAL DESIGN CRITERIA: REFER TO STRUCTURAL DRAWINGS

MAX. BLDG. HT. = 60' (*TABLE 504.3*)

CHAPTER 22 DESIGN REVIEW

AIR FREEZING INDEX = 2500 MEAN ANNUAL TEMP. = > 41° F HEATING DEGREE DAYS = 7,511

CONSTRUCTION TYPE = III-B

WEATHERING = SEVERE

1. SCOPE OF WORK PERTAINS TO THE CONSTRUCTION OF A MIXED-USE STRUCTURE - OFFICE ON GROUND FLOOR WITH SINGLE-FAMILY RESIDENCES ON SECOND FLOOR - LOCATED AT 30 MORSE ST. FREEPORT, ME 04032.

ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF FREEPORT TOWN CHARTER AND ALL PERTINENT ORDINANCES AND CODES.

CHAPTER 11 BUILDING CODE W/ADOPTION & MODIFICATIONS OF THE MAINE UNIFORM BUILDING CODE CONSISTING OF:

LEGAL DESCRIPTION: TAX MAP 11 LOT 54 (CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 3371, PAGE 296)

A. ALL 2015 EDITIONS OF THE INTERNATIONAL CODE COUNCIL PUBLICATIONS

ALLOWABLE # OF STORIES = 4 ABOVE GRADE (*TABLE 504.4*)

FIRE PROTECTION = NFPA 13R OR 13D SPRINKLER SYSTEM (§903.2.8 & 903.3.1.3)

FIRE-RESISTANCE RATINGS FOR BUILDING ELEMENTS (HOURS, TABLES 601 & 602)

NON-BEARING WALLS = 0 IF 10 FT. </= FSD < 30 FT., OTHERWISE 1 EXT., 0 INT.

ALLOWABLE AREA = UNLIMITED sf (*TABLE 506.2*)

PRIMARY STRUCTURAL FRAME = 0

BEARING WALLS = 2 EXT., 0 INT.

- 2. ALL WORK SHALL CONFORM TO ALL ORDINANCES AND CODES LISTED WITHIN DESIGN CRITERIA AND ANY OTHER APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, UTILITY PROVIDERS AND MATERIAL AND TESTING STANDARDS.
- 3. BEFORE COMMENCING WORK, THE CONTRACTOR(S) SHALL FILE ALL REQUIRED INSURANCE CERTIFICATES AND COORDINATE WITH ALL
- PARTIES TO OBTAIN ALL REQUIRED PERMITS AND PAY ALL FEES REQUIRED BY THE JHA.
- 4. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS TO THEIR SCOPE OF WORK. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS, IF REQUIRED. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE
- 6. THE CONTRACTOR SHALL LAY OUT HIS OR HER OWN WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES IF
- 7. THE CONTRACTOR WILL COORDINATE INFORMATION WITH ALL APPROPRIATE TRADES IF REQUIRED AND MAKE SURE ALL WORK IS TO BE PERFORMED BY PERSONS LICENSED IN THEIR RESPECTIVE TRADES. ALL TRADES SHALL ARRANGE FOR AND OBTAIN AL NECESSARY INSPECTIONS AND REQUIRED SIGN-OFFS.
- 8. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS IN THE FIELD AND CONTACT ARCHITECT WHEN INCONSISTENCIES BETWEEN PLANS AND FIELD DIMENSIONS OCCUR.
- 9. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT SITE PRIOR TO COMMENCING THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT WHERE DISCREPANCIES OCCUR BETWEEN DRAWINGS, GENERAL NOTES AND SPECIFICATIONS.
- 10. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR USE, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION
- 11. ALL DIMENSIONS ARE TO FACE OF WALL FINISH, UNO.
- 12. FINISH FLOOR ELEVATIONS ARE TO TOP OF FINISH MATERIAL SURFACE, UNO.
- 13. CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES.
- 14. THE CONTRACTOR SHALL PROVIDE SUBMITTALS, INCLUDING SAMPLES, FOR ALL PRODUCTS AND FINISHES TO BE INSTALLED AT THE SITE AND SHOP DRAWINGS FOR ALL MILLWORK TO THE CLIENT AND ARCHITECT PRIOR TO FABRICATION OR INSTALLATION.

LOCATION PLAN



PROJECT:

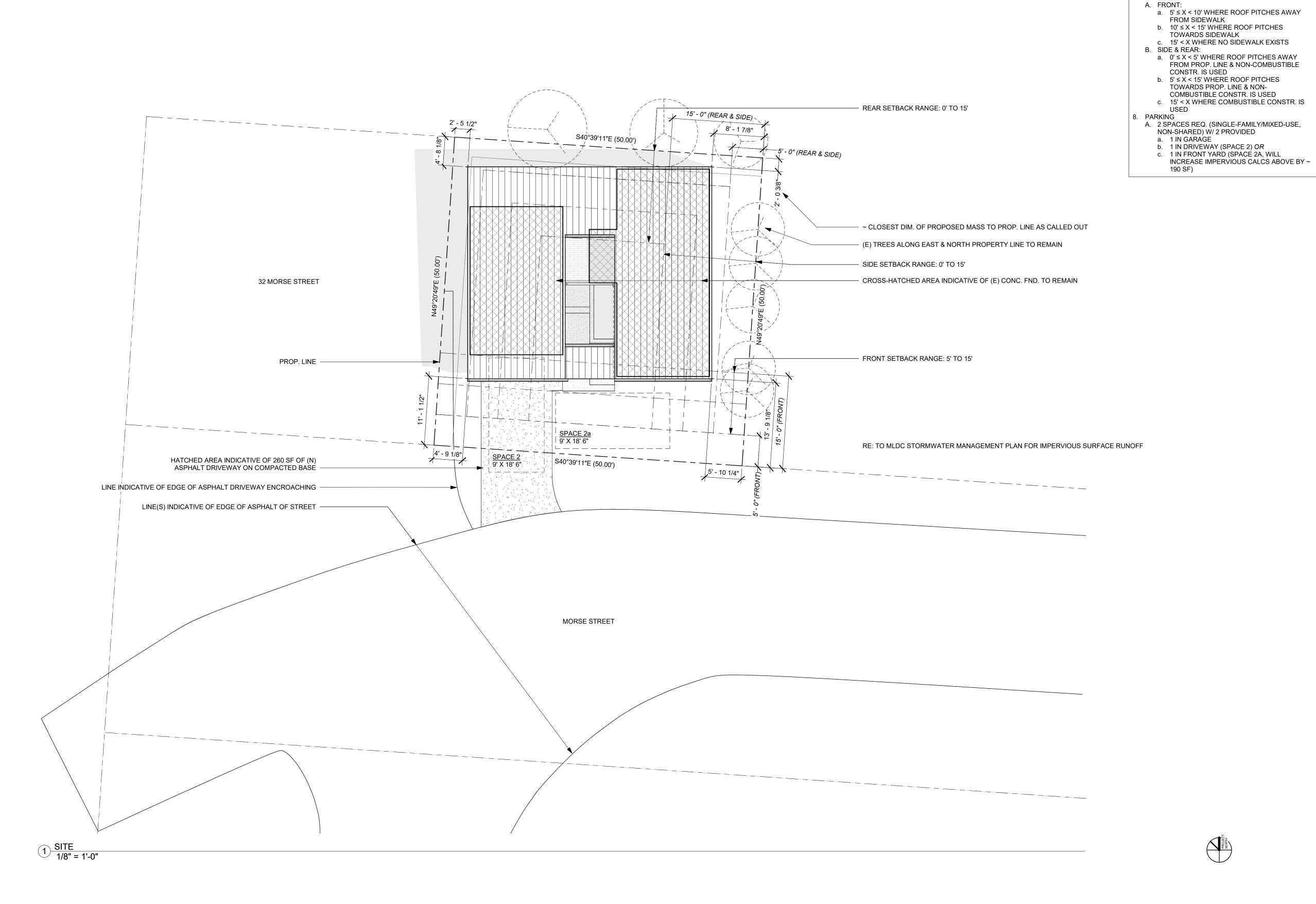
GALE RESIDENCE

30 MORSE ST FREEPORT, ME 04032

DRAWING TITLE:

COVER SHEET

DATE:	1/31/2
PROJECT #:	04
SHEET #:	



GENERAL NOTES

1. SITE PLAN DERIVED FROM SURVEY PREPARED FOR CLIENT BY ASSOCIATED DESIGN PARTNERS INC. ON 10/21/2022.

2. ALL PERVIOUS SURFACES OF PROPERTY TO RECEIVE GRASS SEED MIX. 3. NO EXT. LIGHTING IS PROPOSED EXCEPT FULLY-SHIPLDED WALL-WASHING SCONCE @FRONT DOOR & OVERHEAD,

WALL-WASHING LIGHT @GARAGE DOOR FOR SAFETY ILLUMINATION, NOT TO EXCEED 1 FOOTCANDLE.
4. 1/31/24 REVISIONS TO SHEET NOT CLOUDED CONSIST OF: A. ROOF CONFIGURATION

ZONING INFORMATION

1. ZONE DISTRICT = VC-1, VILLAGE COMMERCIAL
2. PERMITTED USE = MIXED-USE, COMPOSED OF:

5. PROPOSED BLDG. HT. = ~27' -6" FROM FIN. GRADE

A. MAX. BLDG. HT. = 45'-0" W/ 3 STORIES

6. IMPERVIOUS COVERAGE = 1,630 SF A. BUILDING & PATIOS = 1,370 SF

A. OFFICE GROUND FLR. B. RESIDENTIAL UPPER FLR.

A. MIN. LOT SIZE = 8,000 SF

3. LOT SIZE = 2,500 SF

W/ 2 STORIES

SETBACKS:

4. ROAD FRONTAGE = 50'

B. DRIVEWAY = 260 SF C. ALLOWED = 2,250 SF (90%) MOVE MATTER / ARCHITECTS

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1115 CHAMBERS AVE C101 EAGLE, CO 81631

info@movematter.com www.movematter.com

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CHRIS & **STEVENS**

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CONSULTANTS:

STRUCTURAL ENGINEER ASSOCIATED DESIGN PARTNERS INC. 80 LEIGHTON RD. FALMOUTH, ME 04105

REVISION DATE:

NO.	DATE	DESCRIPTION
1	5/29/23	INTITIAL TOF REVIEW
2	7/14/23	TOF REV.
3	1/31/24	TOF REV. 2

SEAL & SIGNATURE:

PROJECT:

GALE RESIDENCE

30 MORSE ST FREEPORT, ME 04032

DRAWING TITLE:

SITE PLAN

DATE:	1/31/
PROJECT #:	0
OUEET #	

AS100

GENERAL NOTES

1. GROSS BLDG. AREA = 2,745 SF
A. BASEMENT = 542 SF

- B. GROUND FLR. = 998 SF
 C. SECOND FLR. = 1,205 SF
 2. NET CONDITIONED AREA = 1,452 SF
 3. RE: TO A-600 FOR WINDOW & DOOR SPECIFICATIONS.



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SEAL & SIGNATURE:

PROJECT:

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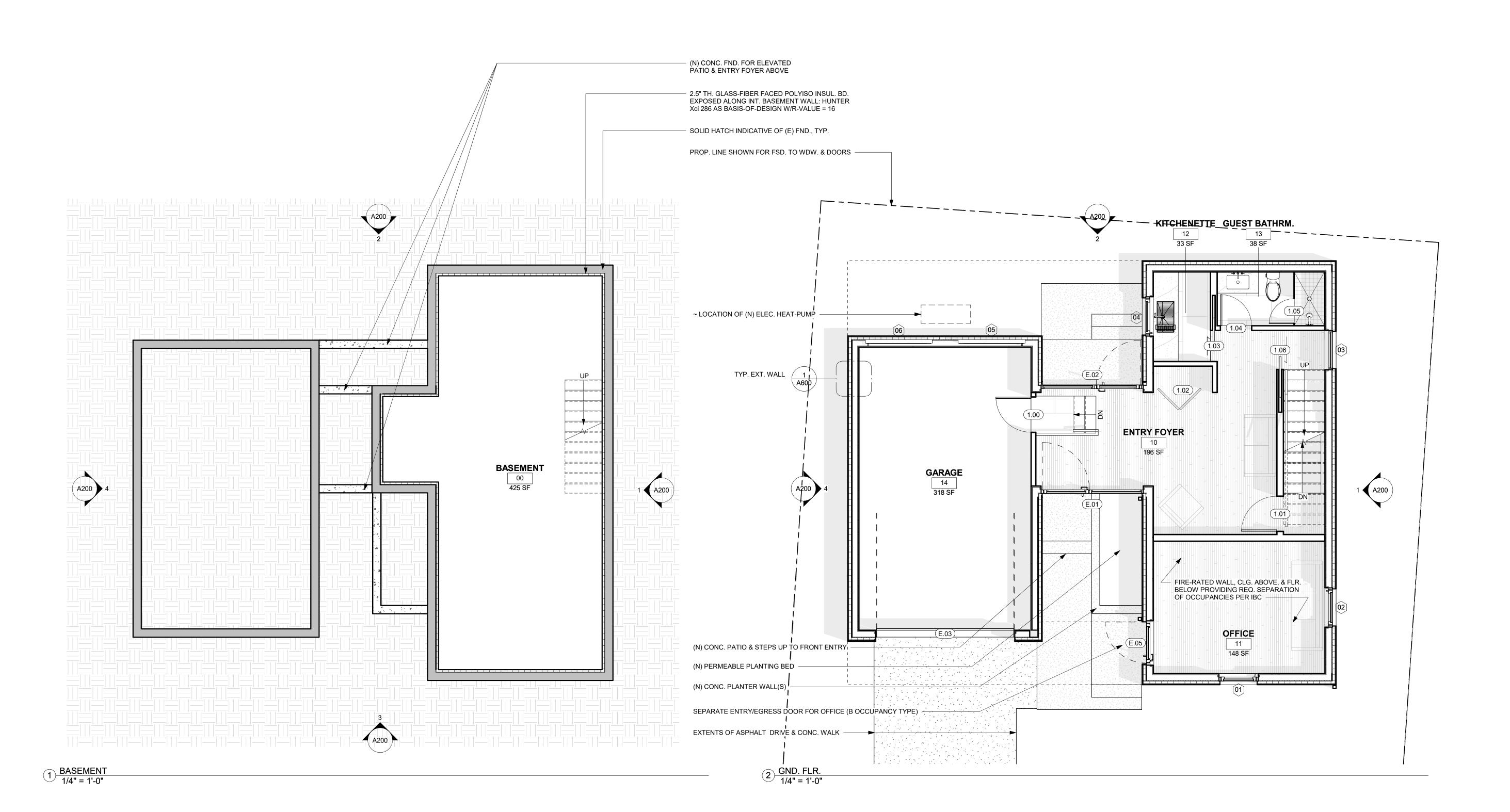
30 MORSE ST FREEPORT, ME 04032

DRAWING TITLE:

FLOOR PLANS



DATE:	1/31/2
PROJECT #:	04
CUEET #	



- GENERAL NOTES

 1. RE: TO GENERAL NOTES ON A100 FOR AREA TAKEOFFS.

 2. RE: TO A-600 FOR WINDOW & DOOR SPECIFICATIONS.
- 3. RE: TO A-901 FOR RENDERED VIEW & EXT. FIN. SPECIFICATIONS. 4. PLMBG. ROOF VENTS NOT SHOWN. TO BE COMBINED INTO MIN.
 PENETRATIONS & LOCATED ON ROOF NOT VISIBLE FROM STREET.



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PROJECT:

GALE RESIDENCE

SEAL & SIGNATURE:

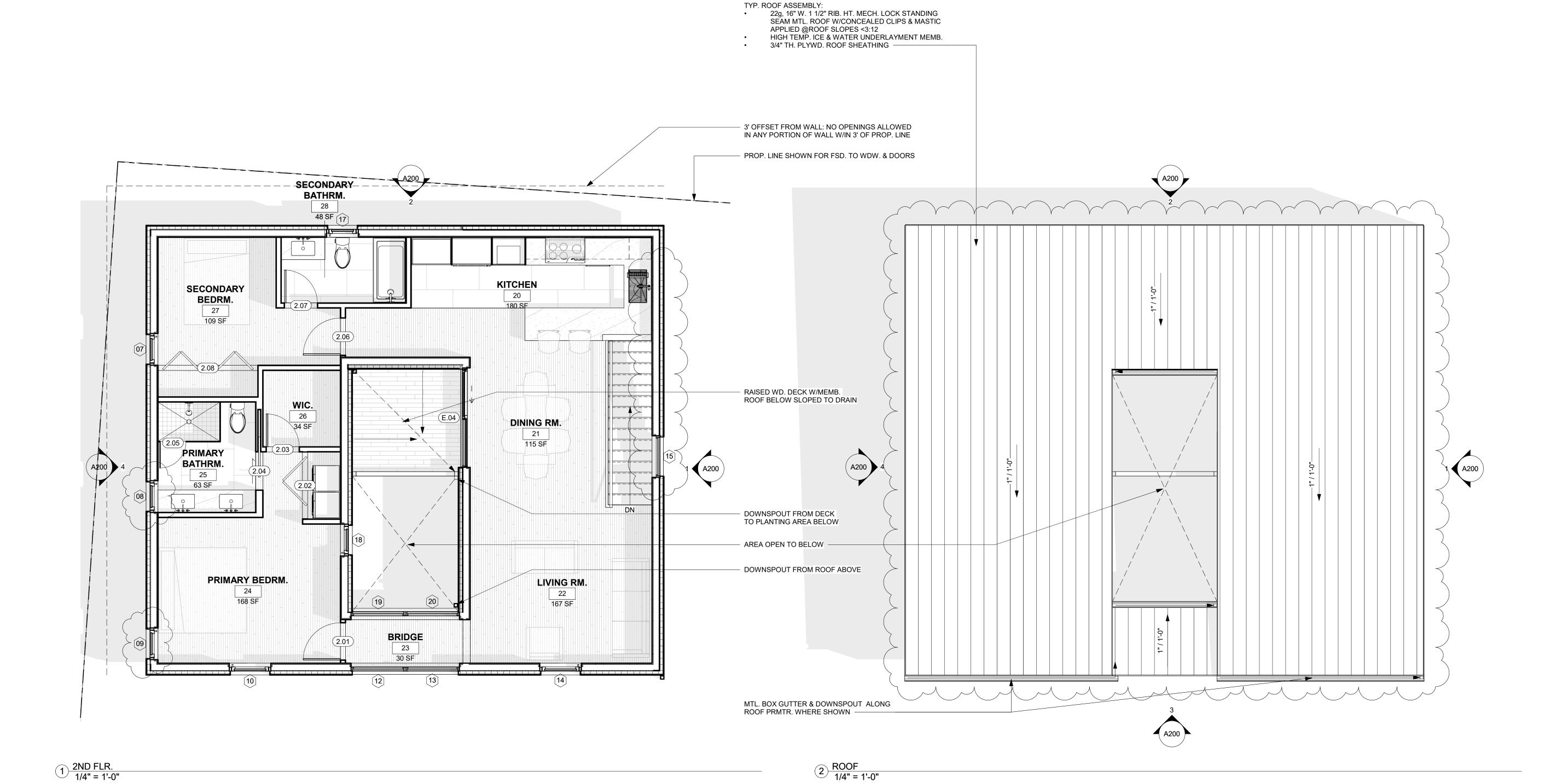
30 MORSE ST FREEPORT, ME 04032

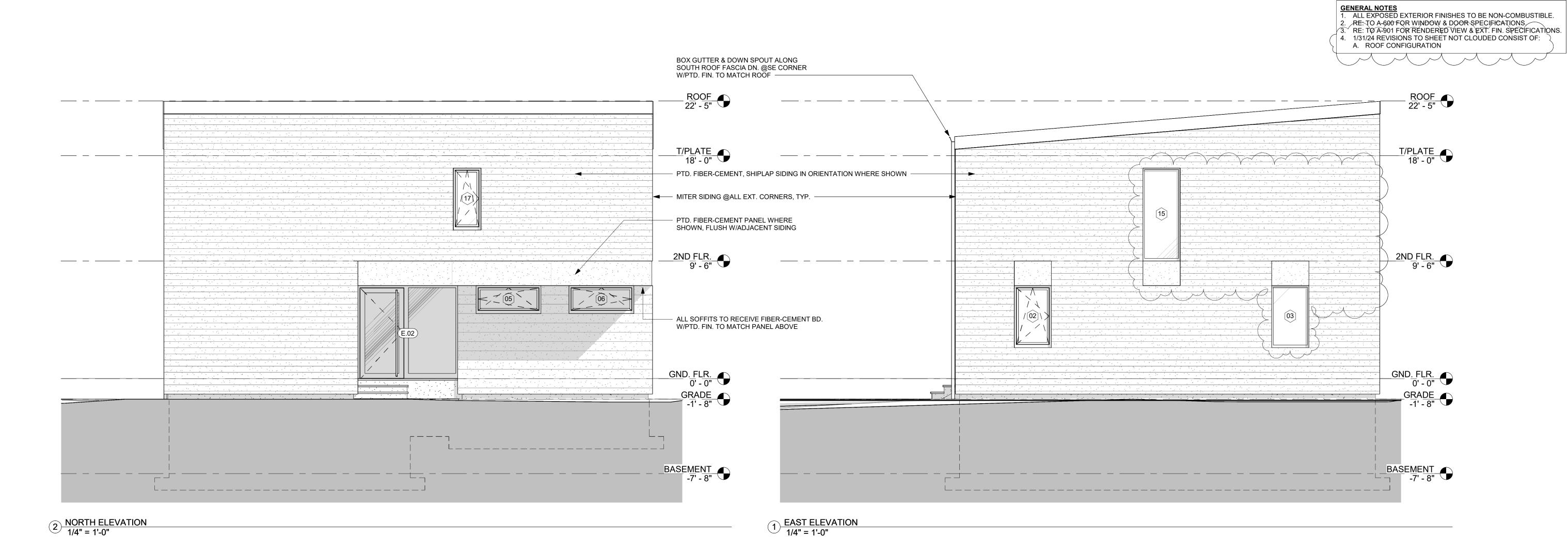
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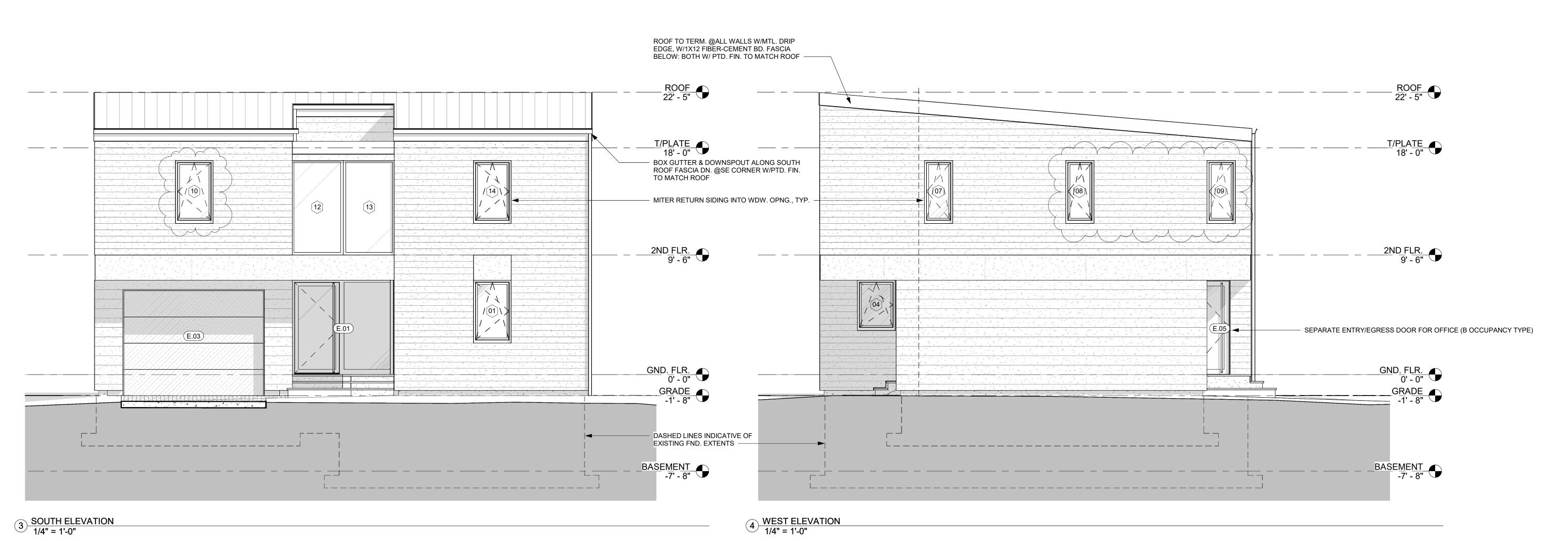
FLOOR PLANS



DATE:	1/31/2
PROJECT #:	04
SHEET #:	









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80 LEIGHTON RD.
FALMOUTH, ME 04105

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3	1/31/24	TOF REV. 2

SEAL & SIGNATURE:

PROJECT:

GALE RESIDENCE

30 MORSE ST FREEPORT, ME 04032

DRAWING TITLE:

EXTERIOR ELEVATIONS

DATE: 1/31/24
PROJECT #: 042
SHEET #:



1 SOUTH ELEVATION - REVISED 1/4" = 1'-0"

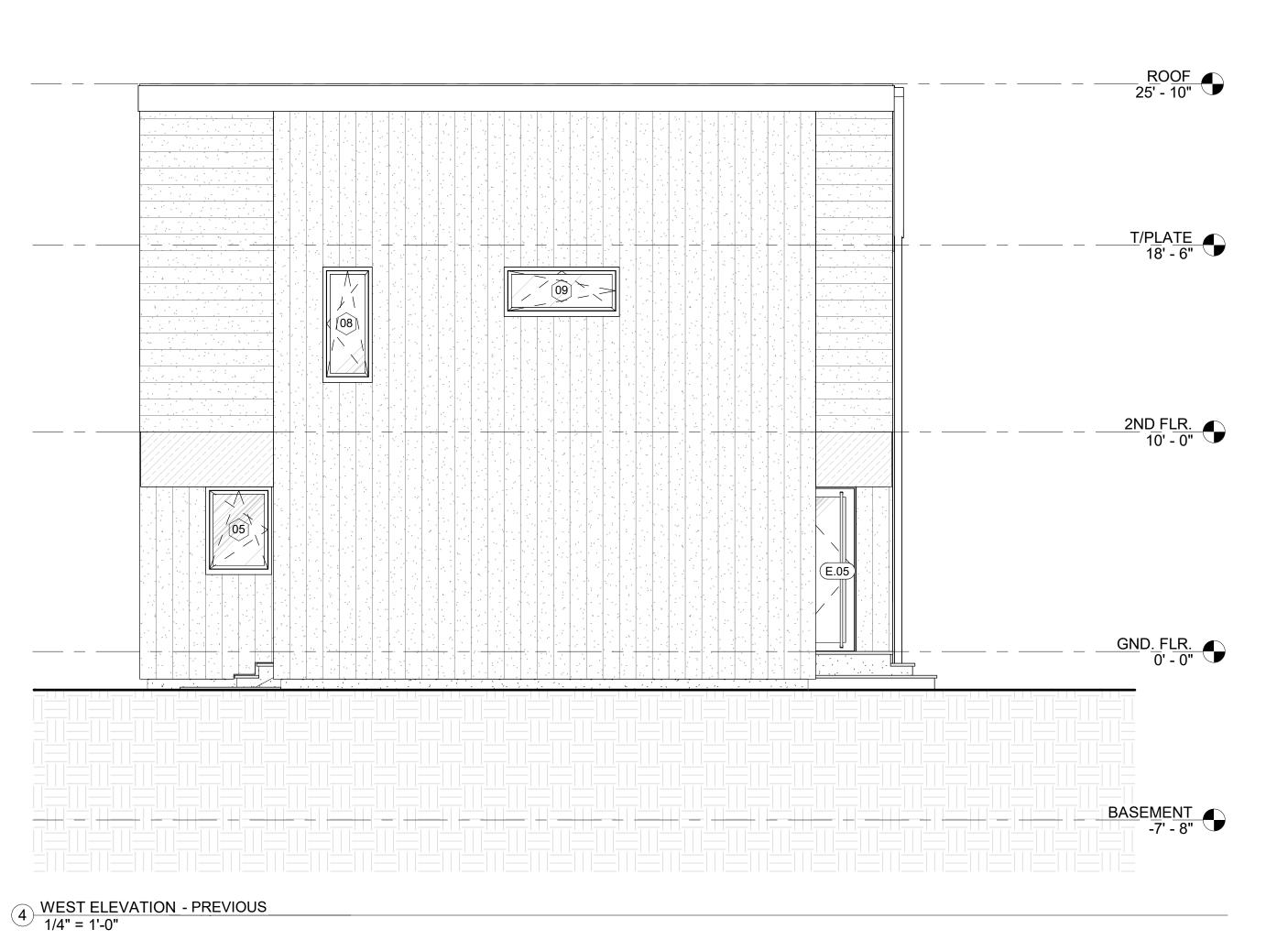


WEST ELEVATION - REVISED

1/4" = 1'-0"



2 SOUTH ELEVATION - PREVIOUS 1/4" = 1'-0"



MOVE MATTER / ARCHITECTS
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80 LEIGHTON RD.
FALMOUTH, ME 04105

NO.	DATE	DESCRIPTION

SEAL & SIGNATURE:

PROJECT:

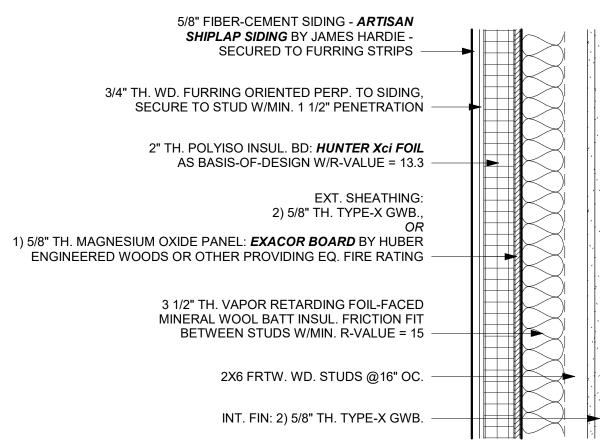
GALE RESIDENCE

30 MORSE ST FREEPORT, ME 04032

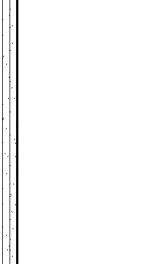
DRAWING TITLE:

EXTERIOR ELEVATIONS -COMPARISON

DATE:	1/31/24
PROJECT #:	042
SHEET #	



1 TYP. EXT. WALL - 2HR RATED 1 1/2" = 1'-0"



GENERAL NOTES

1. 1/31/24 REVISIONS TO SHEET NOT CLOUDED CONSIST OF: A. ELIMINATION OF & RENUMBERING OF WINDOWS, RE: TO A-200



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SEAL & SIGNATURE:

PROJECT:

GALE RESIDENCE

30 MORSE ST FREEPORT, ME 04032

DRAWING TITLE:

SCHEDULES

WINDOW SCHEDULE

MARK	TYPE / MFR. / PRODUCT	OPERATION	HEIGHT	WIDTH	GLAZING	COMMENTS
GND. F	LR.			•		
01	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	3' - 2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
)2	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	3' - 2"	LOW-E #2 CLR. LOW-E #5	
03	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	FIXED	5' - 1"	3' - 2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
04	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	4' - 1"	3' - 2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
05	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	2' - 4"	5' - 5"	LOW-E #2 CLR. LOW-E #5	
06	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	2' - 4"	5' - 5"	LOW-E #2 CLR. LOW-E #5	
2ND FL	R.	,		'	,	
07	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	2' - 5"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES, EMERGENCY EGRESS OPNG.
08	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	2' - 5"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES, EMERGENCY EGRESS OPNG.
09	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	2' - 5"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES, EMERGENCY EGRESS OPNG.
10	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	3' - 2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES, EMERGENCY EGRESS OPNG.
12	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	FIXED	7' - 7"	4' - 1 1/2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
13	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	FIXED	7' - 7"	4' - 1 1/2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
14	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	3' - 2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
15	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	FIXED	7' - 7"	3' - 2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
17	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	2' - 5"	LOW-E #2 CLR. LOW-E #5	
18	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	2' - 5"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
19	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	FIXED	7' - 7"	4' - 1 1/2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
20	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	FIXED	7' - 7"	4' - 1 1/2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
	1		-		_	l e e e e e e e e e e e e e e e e e e e

- WDW. UNITS SHALL HAVE A MAX. U-FACTOR = 0.30.
- DIMS. INDICATED ABOVE ARE UNIT FRAME SIZE, ADD 3/4" TO DIMS. FOR R.O. SIZE (3/8" EACH SIDE OR AS REQ. BY ACTUAL WDW. MFR.)

MODELS SPECIFIED ABOVE ARE BASIS-OF-DESIGN & MAY BE SUBSITUTED BY CLIENT AS REQ.

TEMPERED GLASS SHALL BE IN COMPLIANCE W/§R308 OF THE BUILDING CODE. • WDW.'S INDICATED AS EMERGENCY ESCAPE OPNG. ABOVE SHALL BE IN COMPLIANCE W/§R310 & §R312 OF THE BUILDING CODE.

EXTERIOR DOOR SCHEDULE

MARK	TYPE / MFR. / PRODUCT	HEIGHT	WIDTH	ACTIVE LEAF WIDTH	GLAZING	COMMENTS
GND. F	LR.		'			
E.01	SCHUECO ALUMINIUM DOOR UNIVERSAL PLATFORM (AD UP)	7' - 7"	8' - 3"	4' - 0"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
E.02	SCHUECO ALUMINIUM DOOR UNIVERSAL PLATFORM (AD UP)	7' - 7"	8' - 3"	4' - 0"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
E.03	OVERHEAD, SECTIONAL GARAGE DOOR	8' - 4"	11' - 1"			INSULATED, METAL PANEL
E.05	SCHUECO ALUMINIUM DOOR UNIVERSAL PLATFORM (AD UP)	7' - 7"	3' - 7"			
2ND FL	R.		'	'		
E.04	SCHUECO ALUMINIUM SLIDING SYSTEM (ASS)	7' - 6"	7' - 6 7/8"		LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES

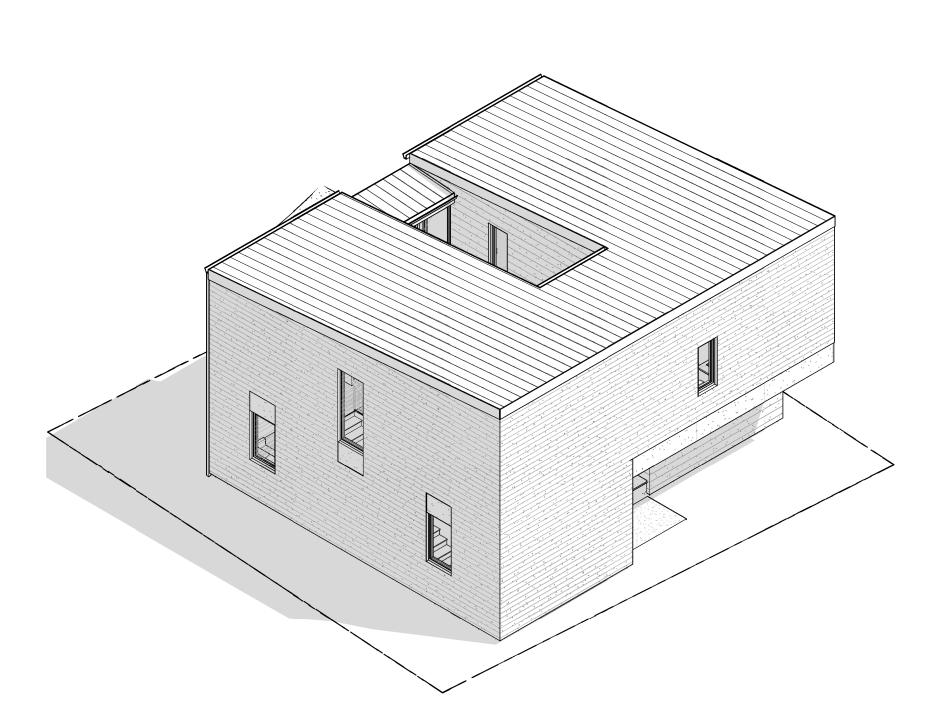
DOOR UNITS SHALL HAVE A MAX. U-FACTOR = 0.30. DIMS. INDICATED ABOVE ARE UNIT FRAME SIZE, ADD 3/4" TO DIMS. FOR R.O. SIZE (3/8" EACH SIDE. OR AS REQ. BY ACTUAL DOOR MFR.)

TEMPERED GLASS SHALL BE IN COMPLIANCE W/§R308 OF THE BUILDING CODE.
 MODELS SPECIFIED ABOVE ARE BASIS-OF-DESIGN & MAY BE SUBSITUTED BY CLIENT AS REQ.

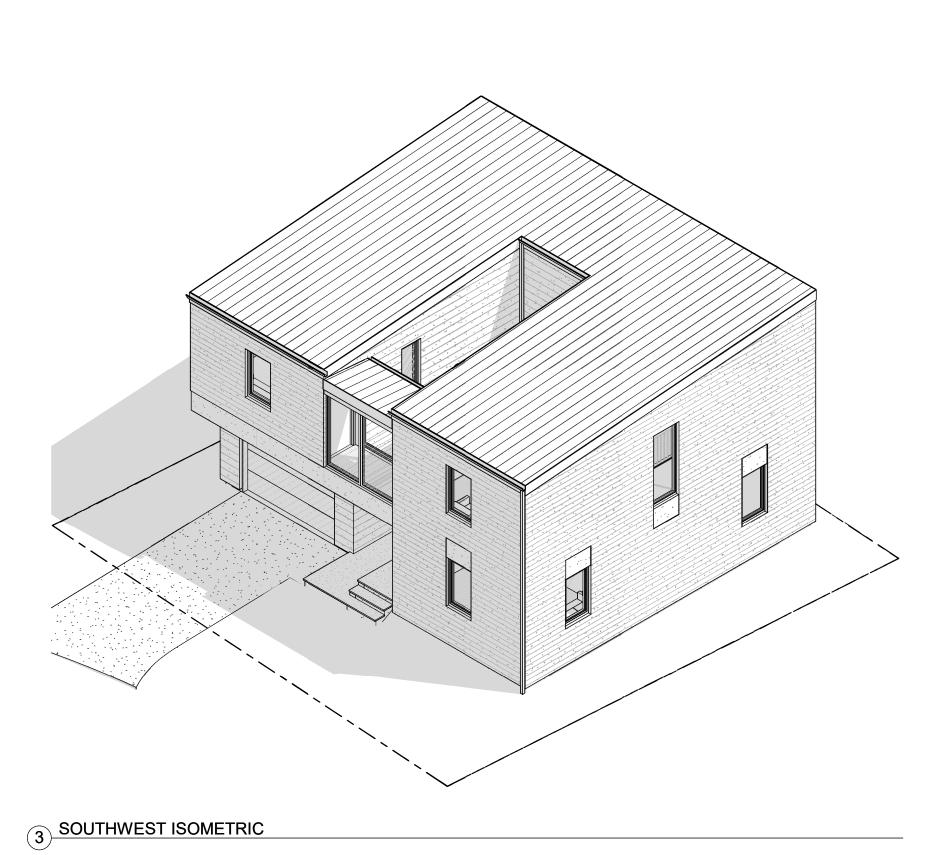
INTERIOR DOOR SCHEDULE

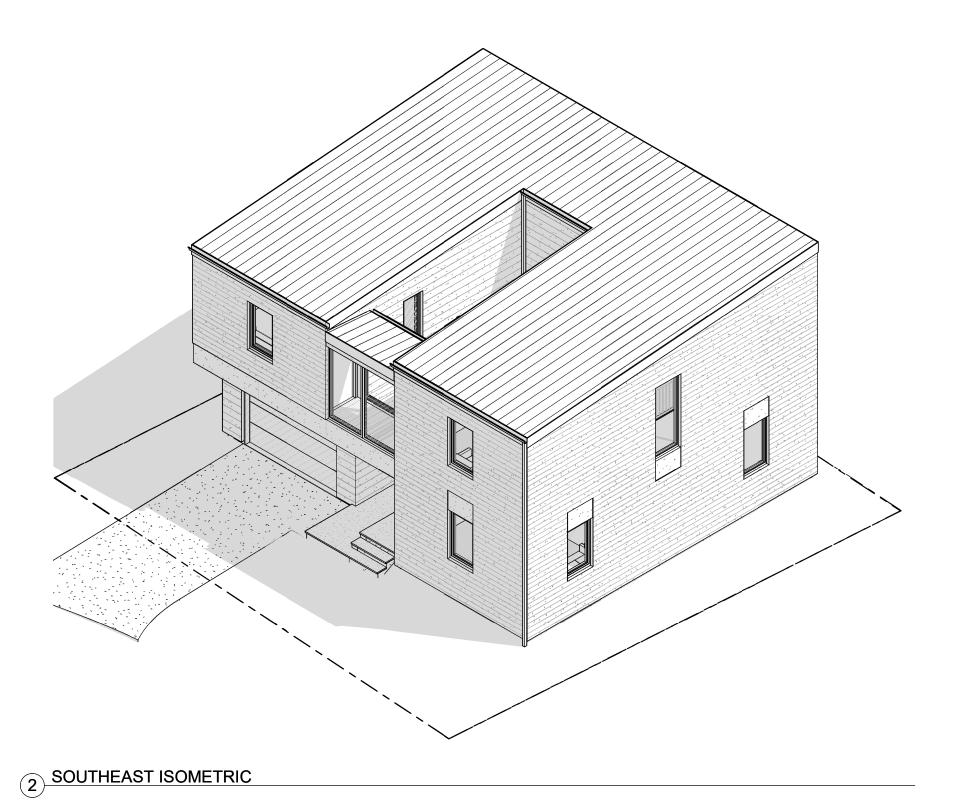
MARK	TYPE	HEIGHT	WIDTH	THICKNESS	DOOR MATERIAL	COMMENTS
GND. FI	LR.	·				
1.00	FLUSH PANEL SWINGING DOOR	7' - 0"	2' - 10"	0' - 1 3/8"	STAVE CORE	SELF-CLOSING
1.01	FLUSH PANEL SWINGING DOOR	6' - 8"	2' - 10"	0' - 1 3/8"	STAVE CORE	
1.02	BI-FOLD CLOSET DOOR	6' - 10 5/8"	4' - 9 1/4"	0' - 1 1/2"	STAVE CORE	CONCEALED TOP TRACK, HT. NOTED OVERALL (PANEL HT. = 6'-8")
1.03	SLIDING POCKET DOOR	6' - 10 1/4"	2' - 6"	0' - 1 3/8"	STAVE CORE	CONCEALED TOP TRACK, HT. NOTED OVERALL (PANEL HT. = 6'-8")
1.04	FLUSH PANEL SWINGING DOOR	6' - 8"	2' - 6"	0' - 1 3/8"	STAVE CORE	
1.05	SWINGING SHOWER DOOR	6' - 8"	2' - 0"	0' - 0 3/8"	TEMPERED GLASS	
1.06	SLIDING POCKET DOOR	8' - 10 1/8"	3' - 1 5/8"	0' - 1 3/4"	STAVE CORE	CONCEALED TOP TRACK, HT. NOTED OVERALL (PANEL HT. = 8'-6")
2ND FL	R.	•	•			
2.01	FLUSH PANEL SWINGING DOOR	6' - 8"	2' - 10"	0' - 1 3/8"	STAVE CORE	
2.02	BI-FOLD CLOSET DOOR	6' - 10 5/8"	5' - 1 1/4"	0' - 1 1/2"	STAVE CORE	CONCEALED TOP TRACK, HT. NOTED OVERALL (PANEL HT. = 6'-8")
2.03	FLUSH PANEL SWINGING DOOR	6' - 8"	2' - 6"	0' - 1 3/8"	STAVE CORE	
2.04	SLIDING POCKET DOOR	6' - 9 3/4"	2' - 10 3/4"	0' - 1 3/8"	STAVE CORE	CONCEALED TOP TRACK, HT. NOTED OVERALL (PANEL HT. = 6'-8")
2.05	SWINGING SHOWER DOOR	6' - 8"	2' - 0"	0' - 0 3/8"	TEMPERED GLASS	
2.06	FLUSH PANEL SWINGING DOOR	6' - 8"	2' - 10"	0' - 1 3/8"	STAVE CORE	
2.07	FLUSH PANEL SWINGING DOOR	6' - 8"	2' - 6"	0' - 1 3/8"	STAVE CORE	
2.08	PARTING BI-FOLD CLOSET DOOR	6' - 10 5/8"	7' - 7 3/8"	0' - 1 3/8"	STAVE CORE	CONCEALED TOP TRACK, HT. NOTED OVERALL (PANEL HT. = 6'-8")

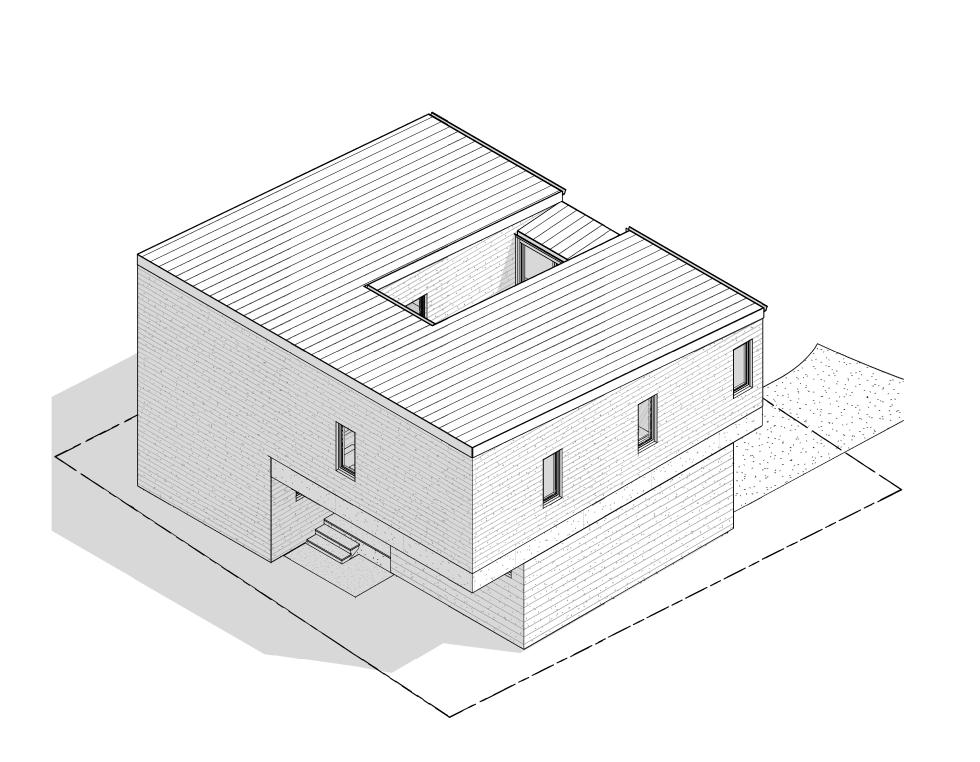
HT. & W. DIMS. INDICATED ABOVE ARE DOOR LEAF SIZES, U.N.O. IN THE COMMENTS SECTION.
 TEMPERED GLASS SHALL BE IN COMPLIANCE W/§R308 OF THE BUILDING CODE.



1 NORTHEAST ISOMETRIC







4 NORTHWEST ISOMETRIC

GENERAL NOTES

1. VIEWS THIS SHEET ARE SCHEMATIC, MEANT TO CONVEY VOLUME



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CONSULTANTS:

STRUCTURAL ENGINEER

ASSOCIATED DESIGN PARTNERS INC.
80 LEIGHTON RD.
FALMOUTH, ME 04105

REVISION DATE:

NO.	DATE	DESCRIPTION
1	5/29/23	INTITIAL TOF REVIEW
2	7/14/23	TOF REV.
3	1/31/24	TOF REV. 2

SEAL & SIGNATURE:

PROJECT:

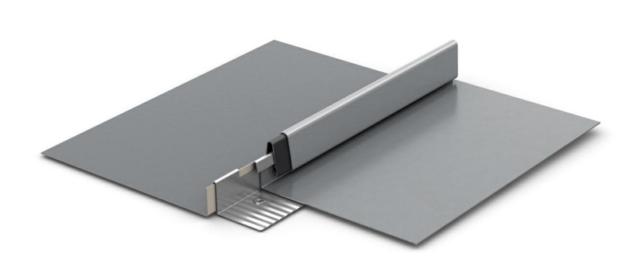
GALE RESIDENCE

30 MORSE ST FREEPORT, ME 04032

DRAWING TITLE:

BUILDING ISOMETRICS

DATE:	1/31/24
PROJECT #:	042
SHEET #:	



STANDING SEAM METAL ROOF
22g, 16" W. 1 1/2" RIB. HT. MECH. LOCK TYPE W/FACTORY PAINT FIN.
IN "OLD ZINC GRAY" COLORWAY BY BRIDGER STEEL OF OTHER MFR.



FIBER-CEMENT SIDING

JAMES HARDIE ARTISAN SHIPLAP SIDING W/ 9"

EXPOSED FACE DIM.,



WINDOWS & DOORS
PRE-WEATHERED METALLIC PVDF FINISH,
"URBANE BRONZE" BY SHERWIN WILLIAMS



METAL ROOF, ROOF ACCESSORY, & TRIM COLOR "OLD ZINC GRAY" BY BRIDGER STEEL OR SIM.



HORIZONTAL SIDING COLOR
"MOUNT ETNA" BY SHERWIN WILLIAMS

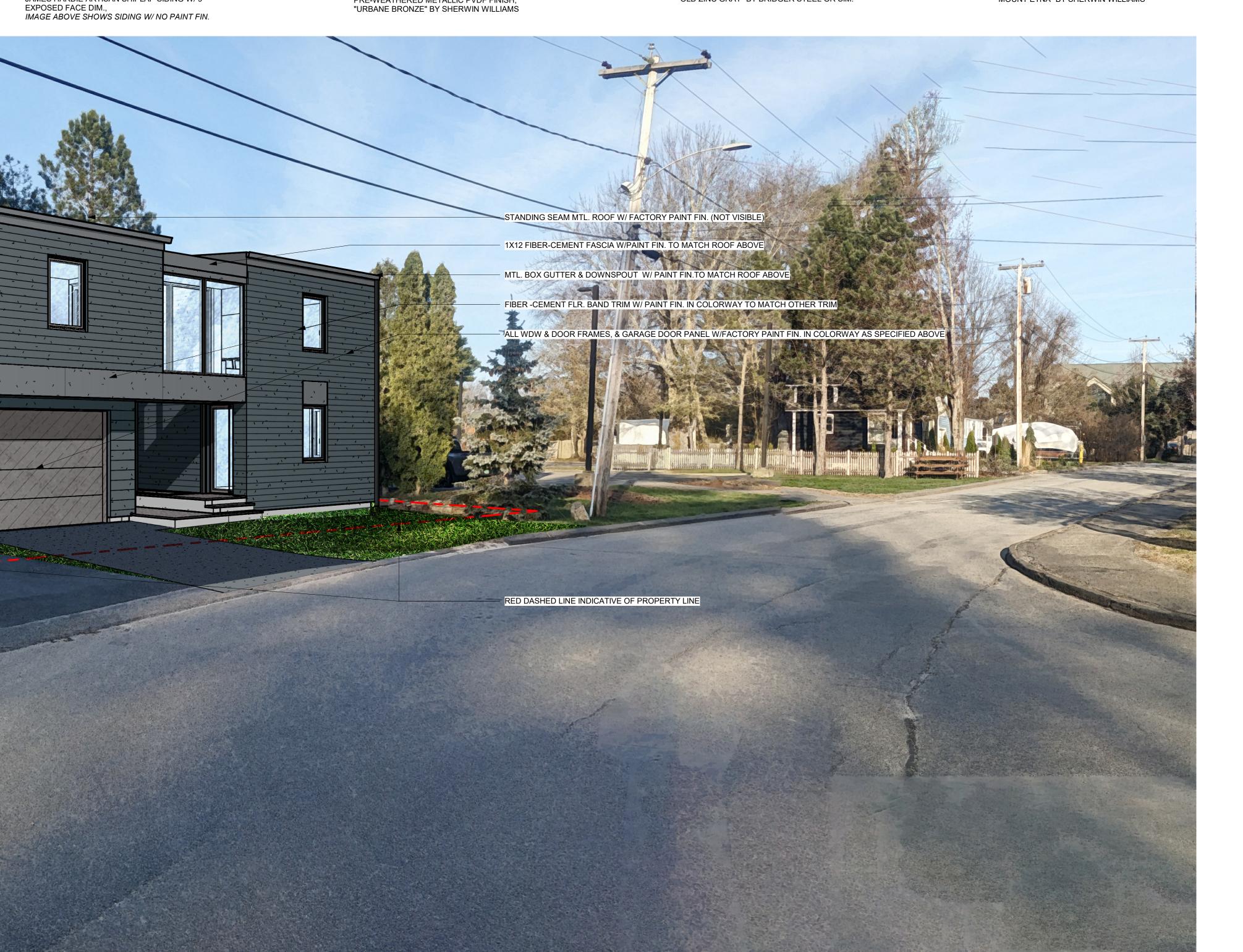


GENERAL NOTES

1. PROPRIETARY EXT. FIN. SPECIFICATIONS ARE PRELIMINARY & SUBJECT TO SUBSTITUTION DUE TO AVAILABILITY & COST.

SUBSTITUTIONS SHALL BE OF THE SAME MATERIAL. FACE DIM(S)., & COLOR.

2. 1/31/24 REVISIONS TO SHEET NOT CLOUDED CONSIST OF:
A. ROOF CONFIGURATION
B. SIDING ORIENTATION
C. WINDOW PLACEMENT





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ASSOCIATED DESIGN PARTNERS INC.
80 LEIGHTON RD.
FALMOUTH, ME 04105

NO.	DATE	DESCRIPTION
1	5/29/23	INTITIAL TOF REVIEW
2	1/31/24	TOF REV. 2
	I	1

SEAL & SIGNATURE:

PROJECT:

GALE RESIDENCE

30 MORSE ST FREEPORT, ME 04032

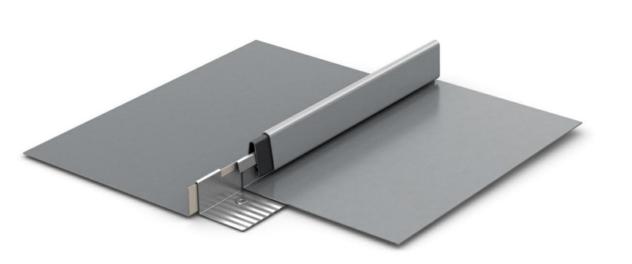
DRAWING TITLE:

RENDERED VIEW & FINISH SPECS

DATE:	1/31/2
PROJECT #:	04
SHEET #:	

GENERAL NOTES

1. PROPRIETARY EXT. FIN. SPECIFICATIONS ARE PRELIMINARY & SUBJECT TO SUBSTITUTION DUE TO AVAILABILITY & COST. SUBSTITUTIONS SHALL BE OF THE SAME MATERIAL, ~ FACE DIM(S)., & COLOR.



STANDING SEAM METAL ROOF

22g, 16" W. 1 1/2" RIB. HT. MECH. LOCK TYPE W/FACTORY PAINT FIN. IN
COLORWAY CLOSEST TO "CITYSCAPE" COLORWAY BY SHERWIN WILLIAMS



FIBER-CEMENT SIDING

JAMES HARDIE ARTISAN SHIPLAP SIDING W/ 9"

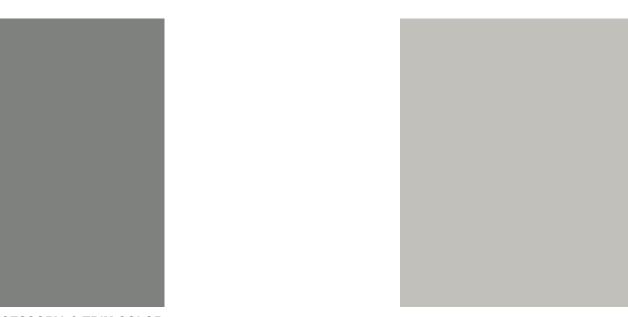
EXPOSED FACE DIM., IMAGE ABOVE SHOWS SIDING W/ NO PAINT FIN.

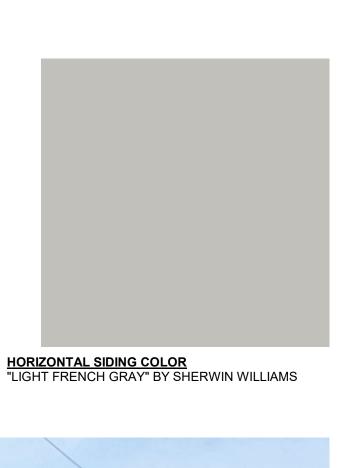


WINDOWS & DOORS
PRE-WEATHERED METALLIC PVDF FINISH,
"URBANE BRONZE" BY SHERWIN WILLIAMS



METAL ROOF, ROOF ACCESSORY, & TRIM COLOR
"CITYSCAPE" BY SHERWIN WILLIAMS





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GALE RESIDENCE

30 MORSE ST FREEPORT, ME 04032

DRAWING TITLE:

ALT. RENDERED VIEW & FINISH SPECS

DATE:	1/31
PROJECT #:	(
SHEET #:	

