

Christian & Amanda Stevens
4 Abenaki Way
Freeport, ME 04032

January 29, 2024

Members of the Project Review Board,

Please see attached revisions for a proposed mixed use construction at 30 Morse Street. These revisions are based on feedback we have received from Project Review Board members during meetings on June 21 and July 19, 2023.

To review, our hope is to utilize the existing foundation in good condition on the site. As such, the design of the structure is governed by the existing footprint and the local zoning ordinance - Design Review District 1 and Village Commercial 1. There are no historically significant Class A or B structures along the block of Morse St. that the project is located on and should relate specifically to. Developing this site will bring a long vacant, unappealing lot back to life as a small energy efficient residence and office in an area that is in need of new housing.

In our view, the original design satisfies the written requirements of Design Review and VC 1, however some concerns were raised by board members.

One primary concern was that of scale. Several board members voiced that they believed it was too tall relative to the neighboring structures. While it was lower than the Morse Street School and mostly surrounded by parking lot, the neighboring structure is a small cottage and the concerns about scale seem to be based on that. With the small lot size of 50' by 50', 2 parking spaces required, and mixed-use - composed of residential and office - all dictated by the Project's zoning VC1, the development of this property would be untenable as a single-story structure while being in compliance with the Zoning Ordinance. **Our revised design lowers the roofline down by over 6 feet, by redesigning the roof shape and lowering all ceiling heights to 8 feet. The ground floor system sits inside of the foundation, which also reduces overall height.**

Another related concern was the roof shape, with one member pointing out that they would like to see the eave line changed to a consistent height to bring it into context with the design of the Morse Street School, and in doing so reduce the height as well. **Our revised design simplifies the roof shape to a nearly flat roof, while retaining some articulation in the walkway between the living space over the garage and main structure, which visually breaks down the mass into two smaller masses.**

We also received feedback on the window and siding layout. **Our revised design adjusts various window placements to calm the west and east facades and we eliminated the vertical siding entirely, which was exaggerating the height. We retained a "belly band", and introduced a taller siding dimension at the garage to visually break the elevation into two.**

Lastly, we received some feedback on the color scheme. The original darker color scheme is our preference, and it could be argued that it minimizes the scale of the structure and complements other existing structures on Morse Street. **However, our revised design includes the option of a lighter color scheme.**

GRAPHIC SYMBOLS

Diagrammatic symbols for various architectural elements: BUILDING GRIDS, LEVEL OR DATUM ELEVATION, WALL SECTION REFERENCE, EXTERIOR ELEVATION REFERENCE, INTERIOR ELEVATION REFERENCE, DETAIL SECTION REFERENCE, PLAN, SECTION OR ELEVATION DETAIL OR ENLARGEMENT, FLOOR TYPE REFERENCE, CEILING TYPE REFERENCE, WALL TYPE REFERENCE, KEYNOTE, DOOR IDENTIFICATION, WINDOW IDENTIFICATION, ROOM IDENTIFICATION, UNIT IDENTIFICATION, REVISION NOTE REFERENCE, MATCHLINE, GRID LINE, LOT LINE.

ABBREVIATIONS

- List of abbreviations: AFF. ABOVE FINISH FLOOR, ACSBL. ACCESSIBLE, ADJ. ADJUSTABLE, AVB. AIR VAPOR BARRIER, etc.

CODE DESIGN CRITERIA

ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF FREEPORT TOWN CHARTER AND ALL PERTINENT ORDINANCES AND CODES. LEGAL DESCRIPTION: TAX MAP 11 LOT 54 (CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK 3371, PAGE 296) ZONING: VC-1, VILLAGE COMMERCIAL STREET ADDRESS: 30 MORSE ST. FREEPORT, ME

GENERAL NOTES

- 1. SCOPE OF WORK PERTAINS TO THE CONSTRUCTION OF A MIXED-USE STRUCTURE - OFFICE ON GROUND FLOOR WITH SINGLE-FAMILY RESIDENCES ON SECOND FLOOR - LOCATED AT 30 MORSE ST. FREEPORT, ME 04032.

GALE RESIDENCE 30 MORSE ST.

SHEET LIST

Table with columns: SHEET #, SHEET NAME, ISSUE DATE, ISSUED FOR. Lists sheets T100 through A902.



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CLIENT: CHRIS & AMANDA STEVENS

4 ABENAKI WAY FREEPORT, ME 04032

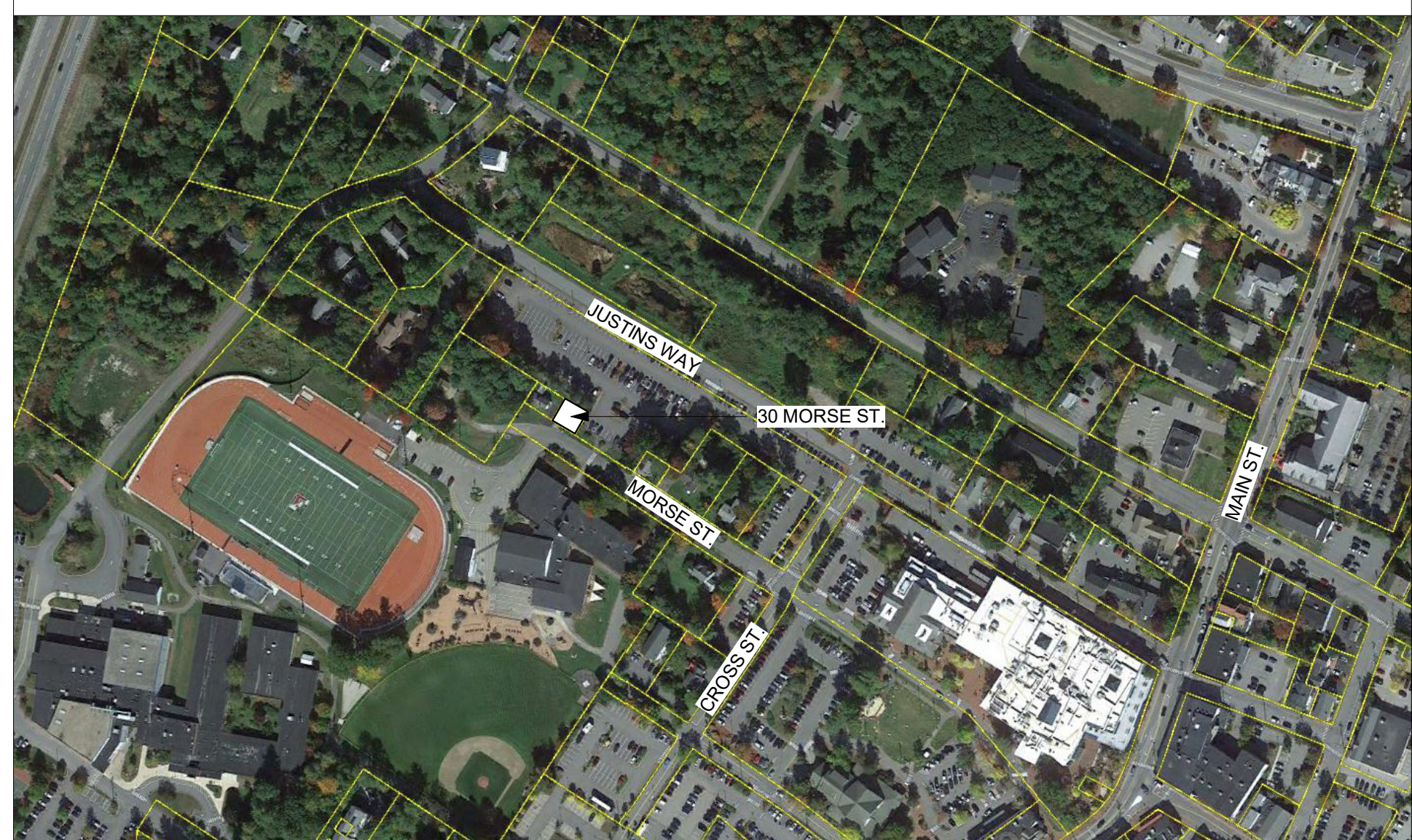
CONSULTANTS: STRUCTURAL ENGINEER ASSOCIATED DESIGN PARTNERS INC. 80 LEIGHTON RD. FALMOUTH, ME 04105

REVISION DATE:

Table with columns: NO., DATE, DESCRIPTION. Shows revision history from 5/29/23 to 1/31/24.

SEAL & SIGNATURE:

LOCATION PLAN



PROJECT: GALE RESIDENCE

30 MORSE ST FREEPORT, ME 04032

DRAWING TITLE: COVER SHEET

DATE: 1/31/24 PROJECT #: 042 SHEET #:

T100

GENERAL NOTES

- 1. SITE PLAN DERIVED FROM SURVEY PREPARED FOR CLIENT BY ASSOCIATED DESIGN PARTNERS INC. ON 10/21/2022.
- 2. ALL PERVIOUS SURFACES OF PROPERTY TO RECEIVE GRASS SEED MIX.
- 3. NO EXT. LIGHTING IS PROPOSED EXCEPT FULLY-SHIELDED WALL-WASHING SCONCE @ FRONT DOOR & OVERHEAD. WALL-WASHING LIGHT @ GARAGE DOOR FOR SAFETY ILLUMINATION, NOT TO EXCEED 1 FOOTCANDLE.
- 4. 1/31/24 REVISIONS TO SHEET NOT CLOUDED CONSIST OF:
 - A. ROOF CONFIGURATION

ZONING INFORMATION

- 1. ZONE DISTRICT = VC-1, VILLAGE COMMERCIAL
- 2. PERMITTED USE = MIXED-USE, COMPOSED OF:
 - A. OFFICE GROUND FLR.
 - B. RESIDENTIAL UPPER FLR.
- 3. LOT SIZE = 2,500 SF
 - A. MIN. LOT SIZE = 8,000 SF
- 4. ROAD FRONTAGE = 50'
- 5. PROPOSED BLDG. HT. = ~27'-6" FROM FIN. GRADE W/ 2 STORIES
 - A. MAX. BLDG. HT. = 45'-0" W/ 3 STORIES
- 6. IMPERVIOUS COVERAGE = 1,630 SF
 - A. BUILDING & PATIOS = 1,370 SF
 - B. DRIVEWAY = 260 SF
 - C. ALLOWED = 2,250 SF (90%)
- 7. SETBACKS:
 - A. FRONT:
 - a. 5' ≤ X < 10' WHERE ROOF PITCHES AWAY FROM SIDEWALK
 - b. 10' ≤ X < 15' WHERE ROOF PITCHES TOWARDS SIDEWALK
 - c. 15' ≤ X WHERE NO SIDEWALK EXISTS
 - B. SIDE & REAR:
 - a. 0' ≤ X < 5' WHERE ROOF PITCHES AWAY FROM PROP. LINE & NON-COMBUSTIBLE CONSTR. IS USED
 - b. 5' ≤ X < 15' WHERE ROOF PITCHES TOWARDS PROP. LINE & NON-COMBUSTIBLE CONSTR. IS USED
 - c. 15' ≤ X WHERE COMBUSTIBLE CONSTR. IS USED
- 8. PARKING
 - A. 2 SPACES REQ. (SINGLE-FAMILY/MIXED-USE, NON-SHARED) W/ 2 PROVIDED
 - a. 1 IN GARAGE
 - b. 1 IN DRIVEWAY (SPACE 2) OR
 - c. 1 IN FRONT YARD (SPACE 2A, WILL INCREASE IMPERVIOUS CALCS ABOVE BY ~ 190 SF)



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AMANDA
STEVENS**

4 ABENAKI WAY
FREEPORT, ME 04032

CONSULTANTS:

STRUCTURAL ENGINEER
ASSOCIATED DESIGN PARTNERS INC.
50 LEIGHTON RD.
FALMOUTH, ME 04105

REVISION DATE:

NO.	DATE	DESCRIPTION
1	5/29/23	INITIAL TOF REVIEW
2	7/14/23	TOF REV.
3	1/31/24	TOF REV. 2

SEAL & SIGNATURE:

PROJECT:

**GALE
RESIDENCE**

30 MORSE ST
FREEPORT, ME 04032

DRAWING TITLE:

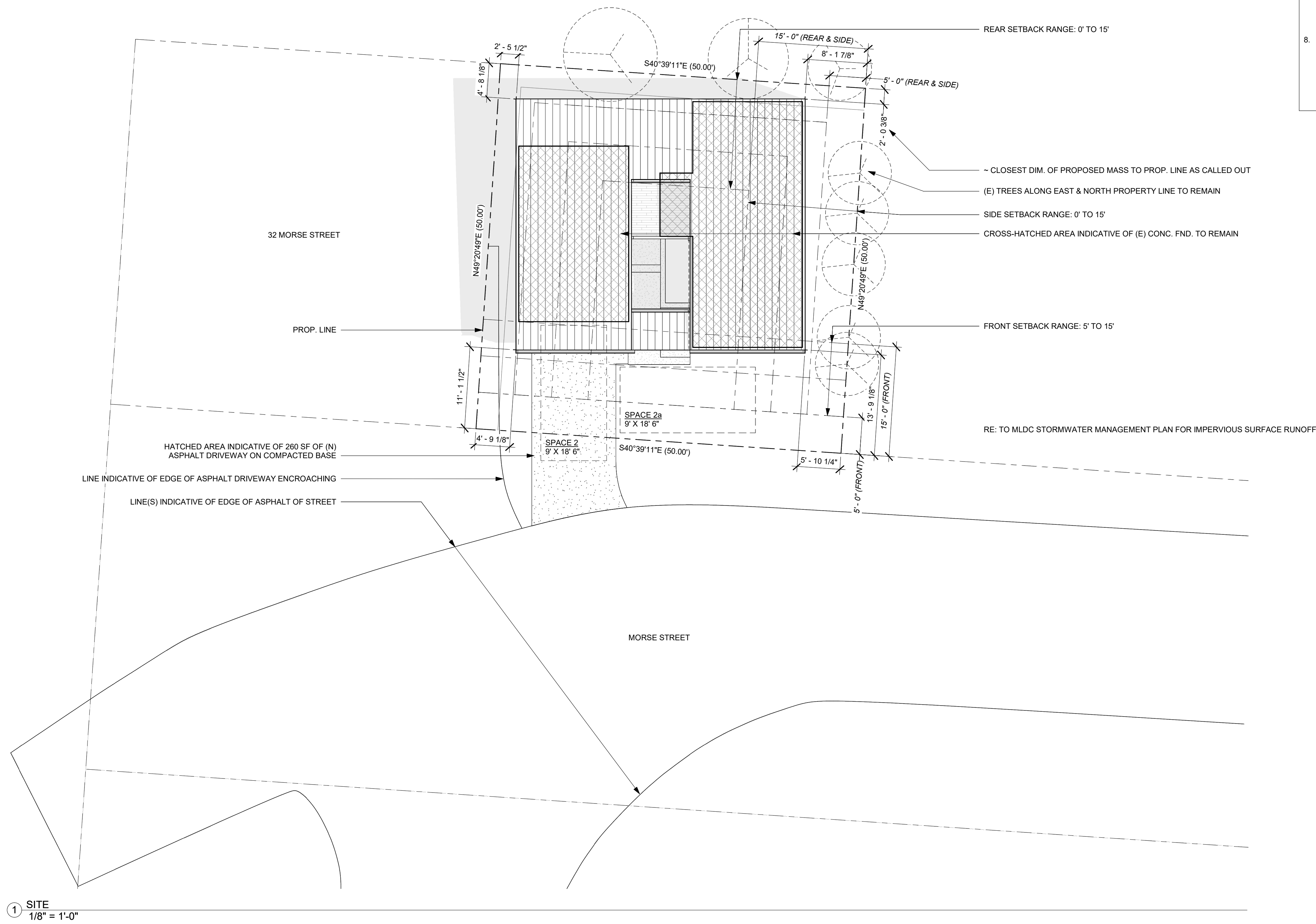
SITE PLAN

DATE: 1/31/24

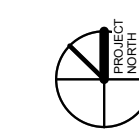
PROJECT #: 042

SHEET #:

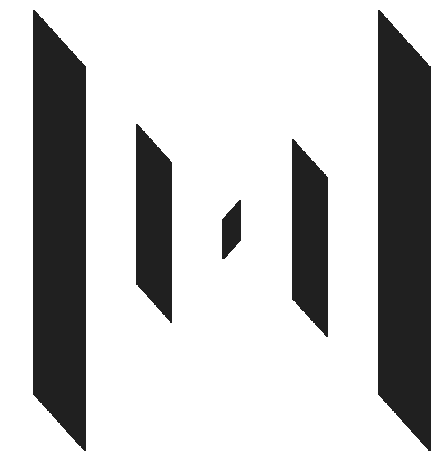
AS100



1 SITE
1/8" = 1'-0"



- GENERAL NOTES**
- GROSS BLDG. AREA = 2,745 SF
 - BASEMENT = 542 SF
 - GROUND FLR. = 998 SF
 - SECOND FLR. = 1,205 SF
 - NET CONDITIONED AREA = 1,452 SF
 - RE: TO A-600 FOR WINDOW & DOOR SPECIFICATIONS.



MOVE MATTER / ARCHITECTS
 1115 CHAMBERS AVE. C101 EAGLE, CO 81631
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 FALMOUTH, ME 04105

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2	7/14/23	TOF REV.

SEAL & SIGNATURE:

PROJECT:

GALE RESIDENCE

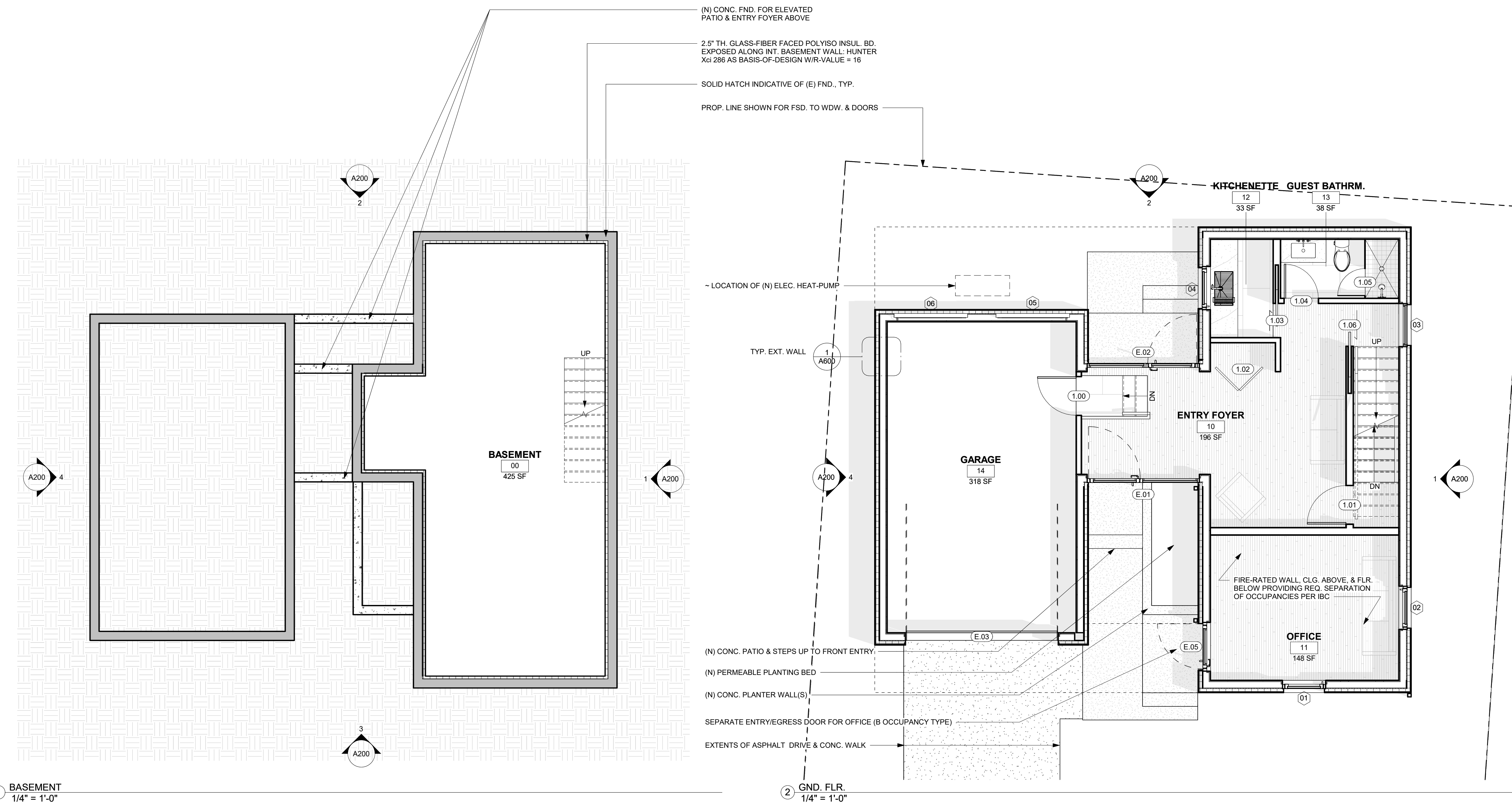
30 MORSE ST
 FREEPORT, ME 04032

DRAWING TITLE:

FLOOR PLANS

DATE: 1/31/24
 PROJECT #: 042
 SHEET #:

A100



GENERAL NOTES
 1. RE: TO GENERAL NOTES ON A100 FOR AREA TAKEOFFS.
 2. RE: TO A-600 FOR WINDOW & DOOR SPECIFICATIONS.
 3. RE: TO A-901 FOR RENDERED VIEW & EXT. FIN. SPECIFICATIONS.
 4. PLMBG. ROOF VENTS NOT SHOWN. TO BE COMBINED INTO MIN. PENETRATIONS & LOCATED ON ROOF NOT VISIBLE FROM STREET.



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REVISION DATE:

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1	5/29/23	INITIAL TOF REVIEW
2	7/14/23	TOF REV.
3	1/31/24	TOF REV. 2

SEAL & SIGNATURE:

PROJECT:

GALE RESIDENCE

30 MORSE ST
 FREEPORT, ME 04032

DRAWING TITLE:

FLOOR PLANS

DATE: 1/31/24

PROJECT #: 042

SHEET #:

A101

- TYP. ROOF ASSEMBLY:
- 22g, 16" W, 1 1/2" RIB, HT. MECH. LOCK STANDING SEAM MTL. ROOF W/ CONCEALED CLIPS & MASTIC APPLIED @ ROOF SLOPES < 3:12
 - HIGH TEMP. ICE & WATER UNDERLAYMENT MEMB.
 - 3/4" TH. PLYWD. ROOF SHEATHING

3' OFFSET FROM WALL: NO OPENINGS ALLOWED IN ANY PORTION OF WALL W/ IN 3' OF PROP. LINE
 PROP. LINE SHOWN FOR FSD. TO WDW. & DOORS

RAISED WD. DECK W/ MEMB. ROOF BELOW SLOPED TO DRAIN

DOWNSPOUT FROM DECK TO PLANTING AREA BELOW

AREA OPEN TO BELOW

DOWNSPOUT FROM ROOF ABOVE

MTL. BOX GUTTER & DOWNSPOUT ALONG ROOF PRMTR. WHERE SHOWN

1 2ND FLR.
 1/4" = 1'-0"

2 ROOF
 1/4" = 1'-0"



GENERAL NOTES
 1. ALL EXPOSED EXTERIOR FINISHES TO BE NON-COMBUSTIBLE.
 2. RE: TO A-600 FOR WINDOW & DOOR SPECIFICATIONS.
 3. RE: TO A-901 FOR RENDERED VIEW & EXT. FIN. SPECIFICATIONS.
 4. 1/31/24 REVISIONS TO SHEET NOT CLOUDED CONSIST OF:
 A. ROOF CONFIGURATION



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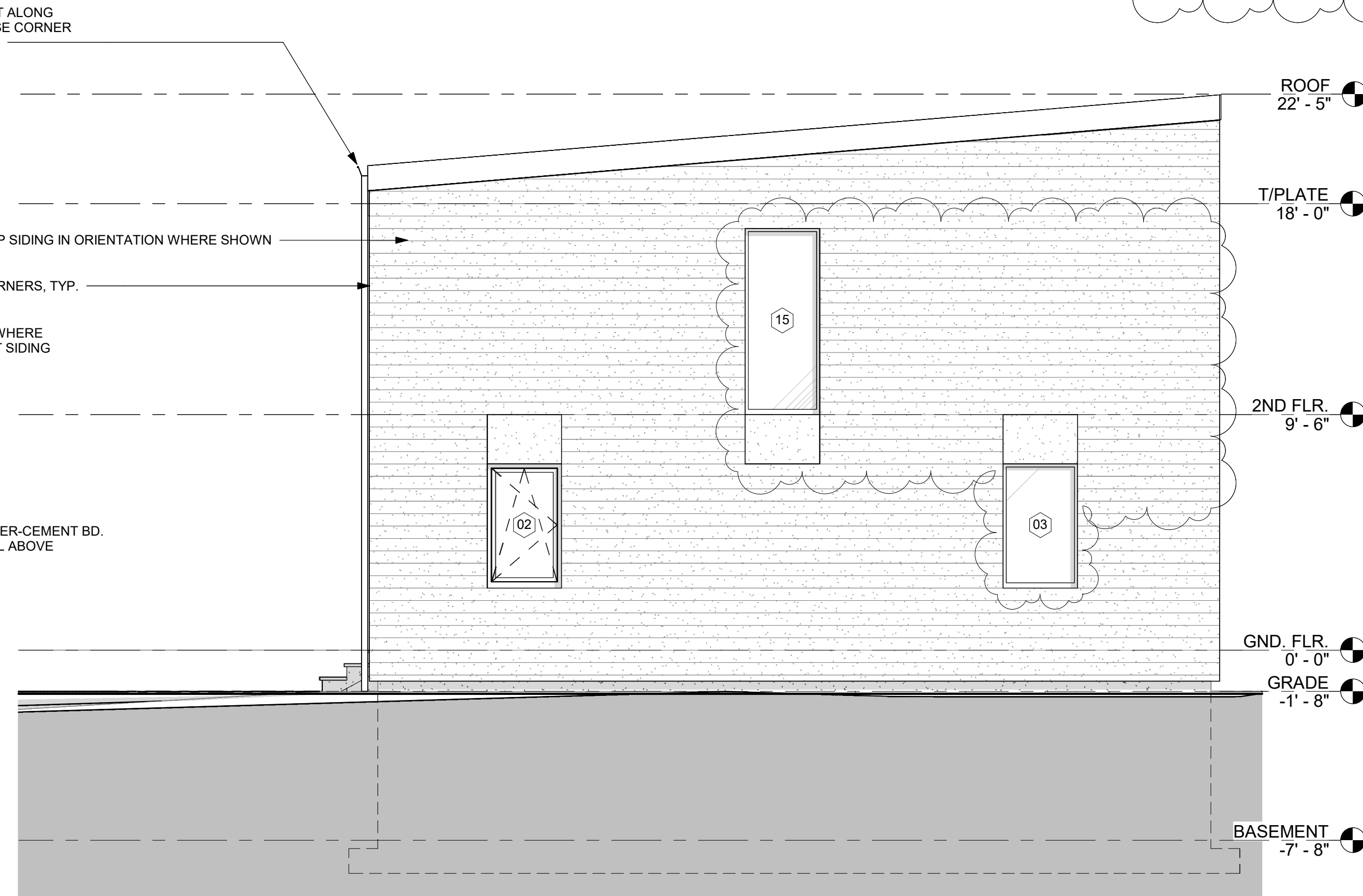
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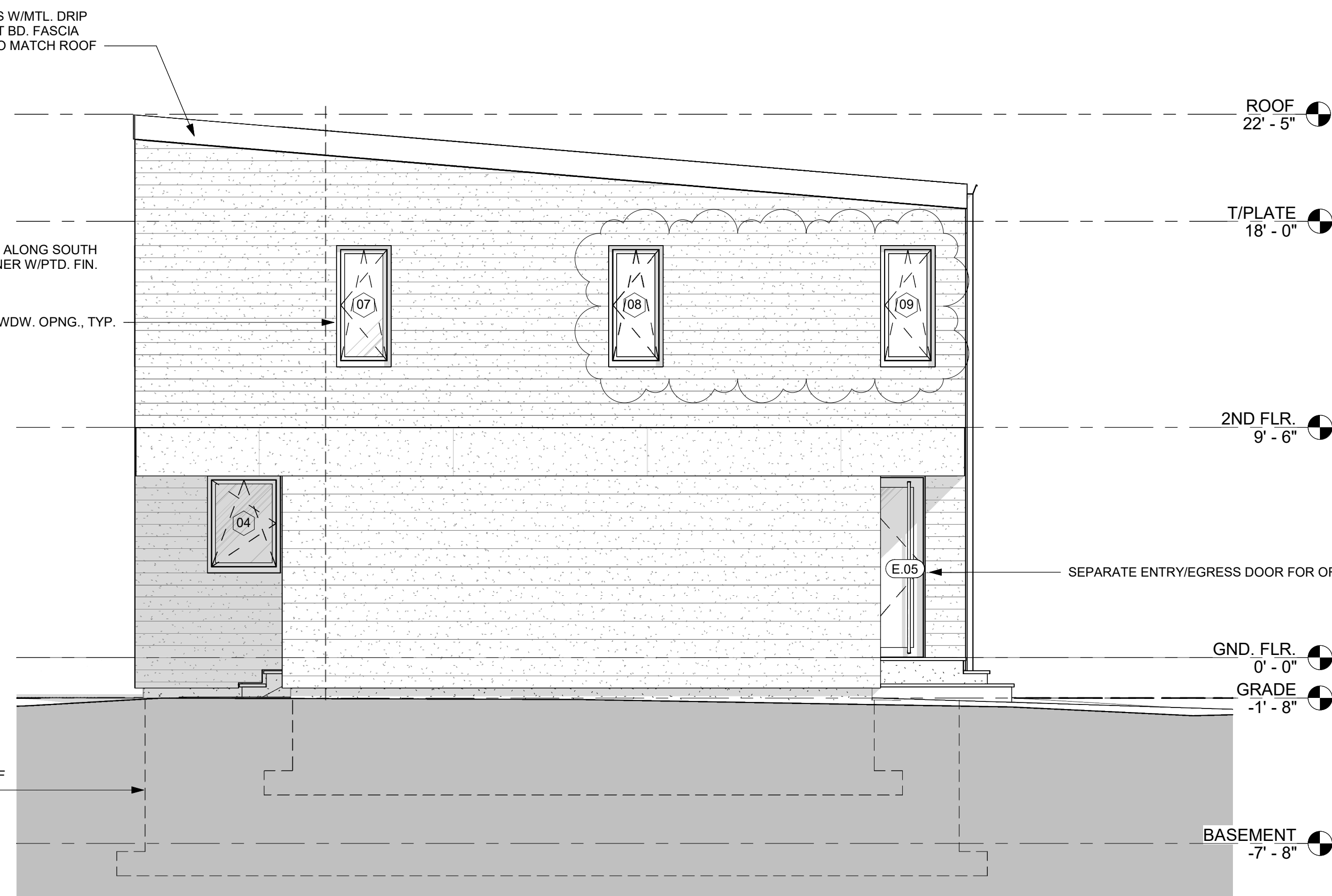
2 NORTH ELEVATION
 1/4" = 1'-0"



1 EAST ELEVATION
 1/4" = 1'-0"



3 SOUTH ELEVATION
 1/4" = 1'-0"



4 WEST ELEVATION
 1/4" = 1'-0"

REVISION DATE:

NO.	DATE	DESCRIPTION
1	5/29/23	INITIAL TOF REVIEW
2	7/14/23	TOF REV.
3	1/31/24	TOF REV. 2

SEAL & SIGNATURE:

PROJECT:

GALE RESIDENCE

30 MORSE ST
 FREEPORT, ME 04032

DRAWING TITLE:

EXTERIOR ELEVATIONS

DATE: 1/31/24

PROJECT #: 042

SHEET #:

A200

GENERAL NOTES
1. COMPARISON OF PROPOSED REVISIONS TO SOUTH & WEST ELEVATIONS TO PREVIOUS PROPOSAL.



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FALMOUTH, ME 04105

REVISION DATE:

NO.	DATE	DESCRIPTION

SEAL & SIGNATURE:

PROJECT:

GALE RESIDENCE

30 MORSE ST
FREEPORT, ME 04032

DRAWING TITLE:

EXTERIOR ELEVATIONS - COMPARISON

DATE: 1/31/24

PROJECT #: 042

SHEET #:

A201



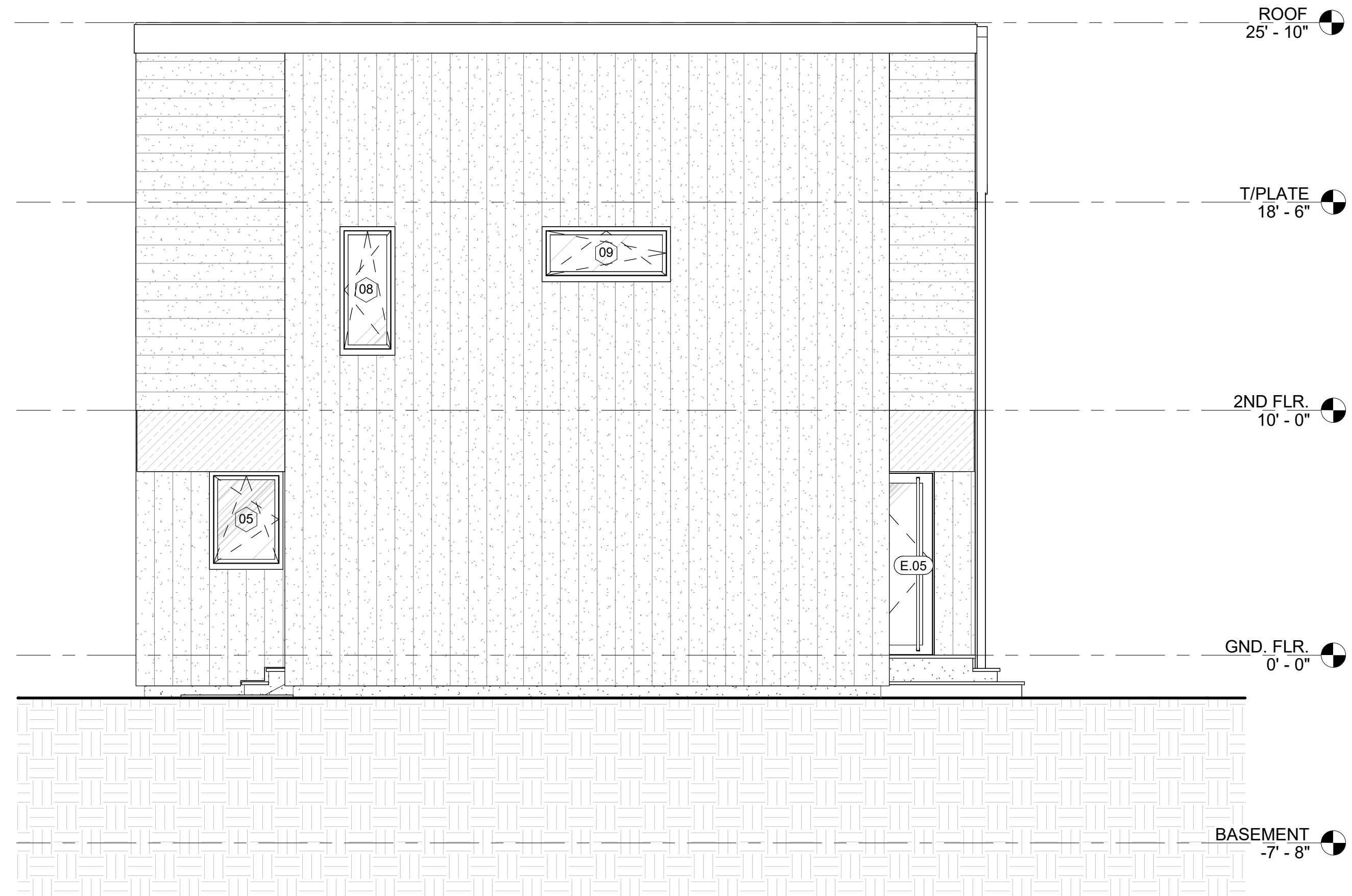
① SOUTH ELEVATION - REVISED
1/4" = 1'-0"



② SOUTH ELEVATION - PREVIOUS
1/4" = 1'-0"



③ WEST ELEVATION - REVISED
1/4" = 1'-0"



④ WEST ELEVATION - PREVIOUS
1/4" = 1'-0"

GENERAL NOTES
 1. 1/31/24 REVISIONS TO SHEET NOT CLOUDED CONSIST OF:
 A. ELIMINATION OF & RENUMBERING OF WINDOWS, RE: TO A-200



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 30 LEIGHTON RD.
 FALMOUTH, ME 04105

REVISION DATE:

NO.	DATE	DESCRIPTION
1	5/29/23	INITIAL TOF REVIEW
2	7/14/23	TOF REV.
3	1/31/24	TOF REV. 2

SEAL & SIGNATURE:

PROJECT:

**GALE
RESIDENCE**

30 MORSE ST
FREEPORT, ME 04032

DRAWING TITLE:

SCHEDULES

DATE: 1/31/24

PROJECT #: 042

SHEET #:

A600

WINDOW SCHEDULE

MARK	TYPE / MFR. / PRODUCT	OPERATION	HEIGHT	WIDTH	GLAZING	COMMENTS
GND. FLR.						
01	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	3' - 2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
02	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	3' - 2"	LOW-E #2 CLR. LOW-E #5	
03	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	FIXED	5' - 1"	3' - 2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
04	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	4' - 1"	3' - 2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
05	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	2' - 4"	5' - 5"	LOW-E #2 CLR. LOW-E #5	
06	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	2' - 4"	5' - 5"	LOW-E #2 CLR. LOW-E #5	
2ND FLR.						
07	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	2' - 5"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES, EMERGENCY EGRESS OPNG.
08	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	2' - 5"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES, EMERGENCY EGRESS OPNG.
09	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	2' - 5"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES, EMERGENCY EGRESS OPNG.
10	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	3' - 2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES, EMERGENCY EGRESS OPNG.
12	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	FIXED	7' - 7"	4' - 1 1/2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
13	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	FIXED	7' - 7"	4' - 1 1/2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
14	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	3' - 2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
15	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	FIXED	7' - 7"	3' - 2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
17	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	2' - 5"	LOW-E #2 CLR. LOW-E #5	
18	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	TILT/TURN	5' - 1"	2' - 5"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
19	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	FIXED	7' - 7"	4' - 1 1/2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
20	SCHUECO ALUMINIUM WINDOW SYSTEM (AWS)	FIXED	7' - 7"	4' - 1 1/2"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES

NOTE:
 • WDW. UNITS SHALL HAVE A MAX. U-FACTOR = 0.30.
 • DIMS. INDICATED ABOVE ARE UNIT FRAME SIZE. ADD 3/4" TO DIMS. FOR R.O. SIZE (3/8" EACH SIDE OR AS REQ. BY ACTUAL WDW. MFR.)
 • TEMPERED GLASS SHALL BE IN COMPLIANCE W/§R308 OF THE BUILDING CODE.
 • WDW.'S INDICATED AS EMERGENCY ESCAPE OPNG. ABOVE SHALL BE IN COMPLIANCE W/§R310 & §R312 OF THE BUILDING CODE.
 • MODELS SPECIFIED ABOVE ARE BASIS-OF-DESIGN & MAY BE SUBSTITUTED BY CLIENT AS REQ.

EXTERIOR DOOR SCHEDULE

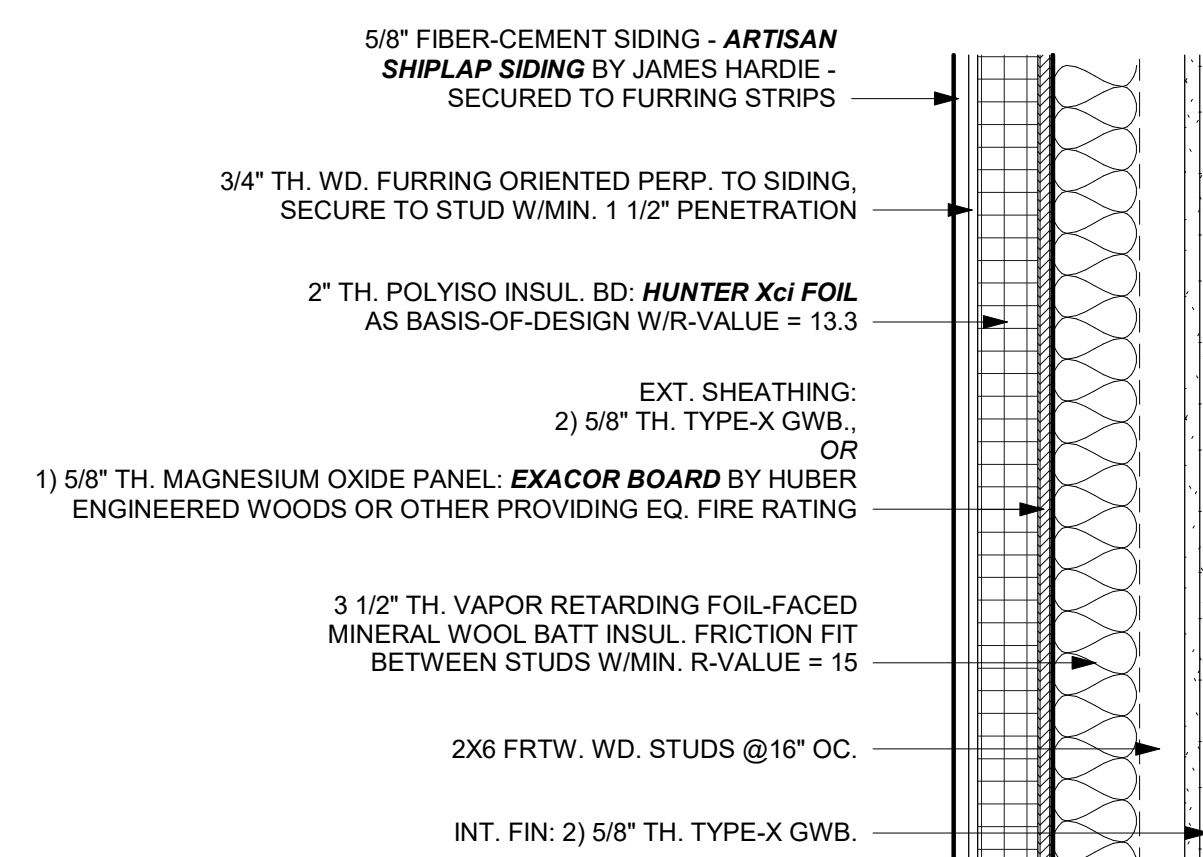
MARK	TYPE / MFR. / PRODUCT	HEIGHT	WIDTH	ACTIVE LEAF WIDTH	GLAZING	COMMENTS
GND. FLR.						
E.01	SCHUECO ALUMINIUM DOOR UNIVERSAL PLATFORM (AD UP)	7' - 7"	8' - 3"	4' - 0"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
E.02	SCHUECO ALUMINIUM DOOR UNIVERSAL PLATFORM (AD UP)	7' - 7"	8' - 3"	4' - 0"	LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES
E.03	OVERHEAD, SECTIONAL GARAGE DOOR	8' - 4"	11' - 1"			INSULATED, METAL PANEL
E.05	SCHUECO ALUMINIUM DOOR UNIVERSAL PLATFORM (AD UP)	7' - 7"	3' - 7"		...	
2ND FLR.						
E.04	SCHUECO ALUMINIUM SLIDING SYSTEM (ASS)	7' - 6"	7' - 6 7/8"		LOW-E #2 CLR. LOW-E #5	TEMPER ALL PANES

NOTE:
 • DOOR UNITS SHALL HAVE A MAX. U-FACTOR = 0.30.
 • DIMS. INDICATED ABOVE ARE UNIT FRAME SIZE. ADD 3/4" TO DIMS. FOR R.O. SIZE (3/8" EACH SIDE. OR AS REQ. BY ACTUAL DOOR MFR.)
 • TEMPERED GLASS SHALL BE IN COMPLIANCE W/§R308 OF THE BUILDING CODE.
 • MODELS SPECIFIED ABOVE ARE BASIS-OF-DESIGN & MAY BE SUBSTITUTED BY CLIENT AS REQ.

INTERIOR DOOR SCHEDULE

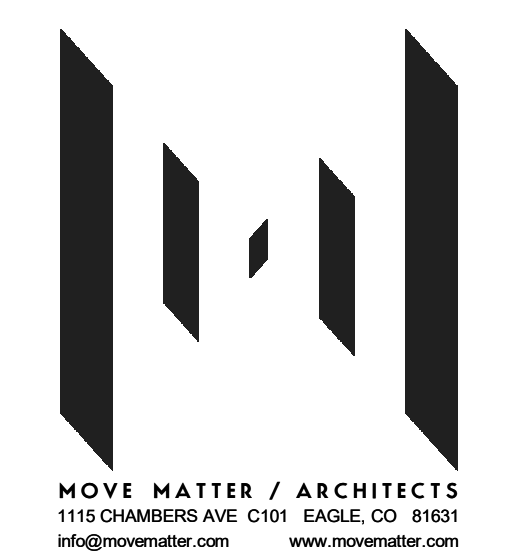
MARK	TYPE	HEIGHT	WIDTH	THICKNESS	DOOR MATERIAL	COMMENTS
GND. FLR.						
1.00	FLUSH PANEL SWINGING DOOR	7' - 0"	2' - 10"	0' - 1 3/8"	STAVE CORE	SELF-CLOSING
1.01	FLUSH PANEL SWINGING DOOR	6' - 8"	2' - 10"	0' - 1 3/8"	STAVE CORE	
1.02	BI-FOLD CLOSET DOOR	6' - 10 5/8"	4' - 9 1/4"	0' - 1 1/2"	STAVE CORE	CONCEALED TOP TRACK, HT. NOTED OVERALL (PANEL HT. = 6'-8")
1.03	SLIDING POCKET DOOR	6' - 10 1/4"	2' - 6"	0' - 1 3/8"	STAVE CORE	CONCEALED TOP TRACK, HT. NOTED OVERALL (PANEL HT. = 6'-8")
1.04	FLUSH PANEL SWINGING DOOR	6' - 8"	2' - 6"	0' - 1 3/8"	STAVE CORE	
1.05	SWINGING SHOWER DOOR	6' - 8"	2' - 0"	0' - 0 3/8"	TEMPERED GLASS	
1.06	SLIDING POCKET DOOR	8' - 10 1/8"	3' - 1 5/8"	0' - 1 3/4"	STAVE CORE	CONCEALED TOP TRACK, HT. NOTED OVERALL (PANEL HT. = 8'-6")
2ND FLR.						
2.01	FLUSH PANEL SWINGING DOOR	6' - 8"	2' - 10"	0' - 1 3/8"	STAVE CORE	
2.02	BI-FOLD CLOSET DOOR	6' - 10 5/8"	5' - 1 1/4"	0' - 1 1/2"	STAVE CORE	CONCEALED TOP TRACK, HT. NOTED OVERALL (PANEL HT. = 6'-8")
2.03	FLUSH PANEL SWINGING DOOR	6' - 8"	2' - 6"	0' - 1 3/8"	STAVE CORE	
2.04	SLIDING POCKET DOOR	6' - 9 3/4"	2' - 10 3/4"	0' - 1 3/8"	STAVE CORE	CONCEALED TOP TRACK, HT. NOTED OVERALL (PANEL HT. = 6'-8")
2.05	SWINGING SHOWER DOOR	6' - 8"	2' - 0"	0' - 0 3/8"	TEMPERED GLASS	
2.06	FLUSH PANEL SWINGING DOOR	6' - 8"	2' - 10"	0' - 1 3/8"	STAVE CORE	
2.07	FLUSH PANEL SWINGING DOOR	6' - 8"	2' - 6"	0' - 1 3/8"	STAVE CORE	
2.08	PARTING BI-FOLD CLOSET DOOR	6' - 10 5/8"	7' - 7 3/8"	0' - 1 3/8"	STAVE CORE	CONCEALED TOP TRACK, HT. NOTED OVERALL (PANEL HT. = 6'-8")

NOTE:
 • HT. & W. DIMS. INDICATED ABOVE ARE DOOR LEAF SIZES, U.N.O. IN THE COMMENTS SECTION.
 • TEMPERED GLASS SHALL BE IN COMPLIANCE W/§R308 OF THE BUILDING CODE.



① TYP. EXT. WALL - 2HR RATED
 1 1/2" = 1'-0"

GENERAL NOTES
 1. VIEWS THIS SHEET ARE SCHEMATIC, MEANT TO CONVEY VOLUME & MASS.
 2. RE: TO A-901 FOR RENDERED VIEW & EXT. FIN. SPECIFICATIONS.
 3. 1/31/24 REVISIONS TO SHEET NOT CLOUDED CONSIST OF:
 A. ROOF CONFIGURATION
 B. SIDING ORIENTATION
 C. WINDOW PLACEMENT
 D. PROPERTY LINE SHOWN FOR REFERENCE



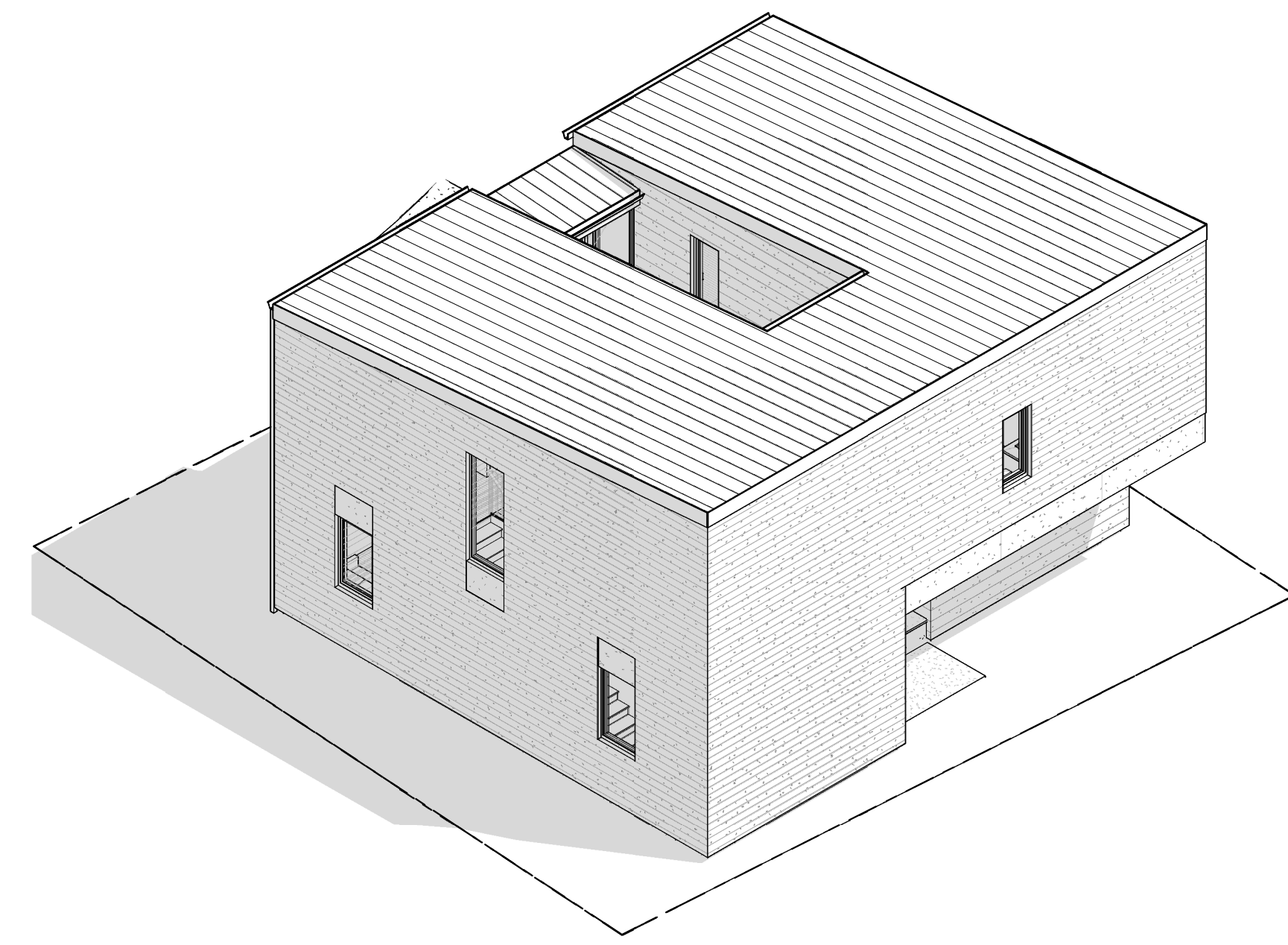
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CLIENT:

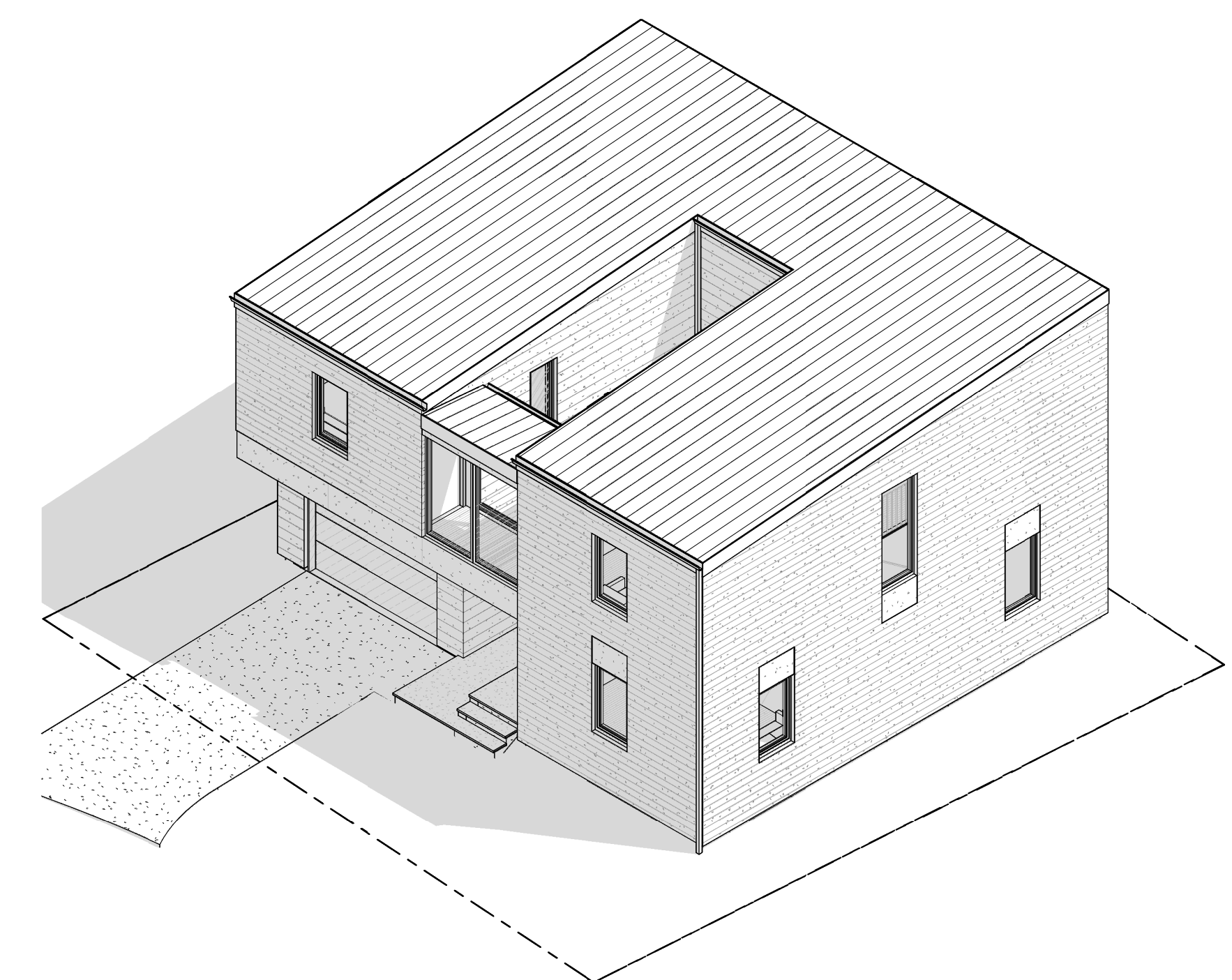
**CHRIS &
 AMANDA
 STEVENS**

4 ABENAKI WAY
 FREEPORT, ME 04032

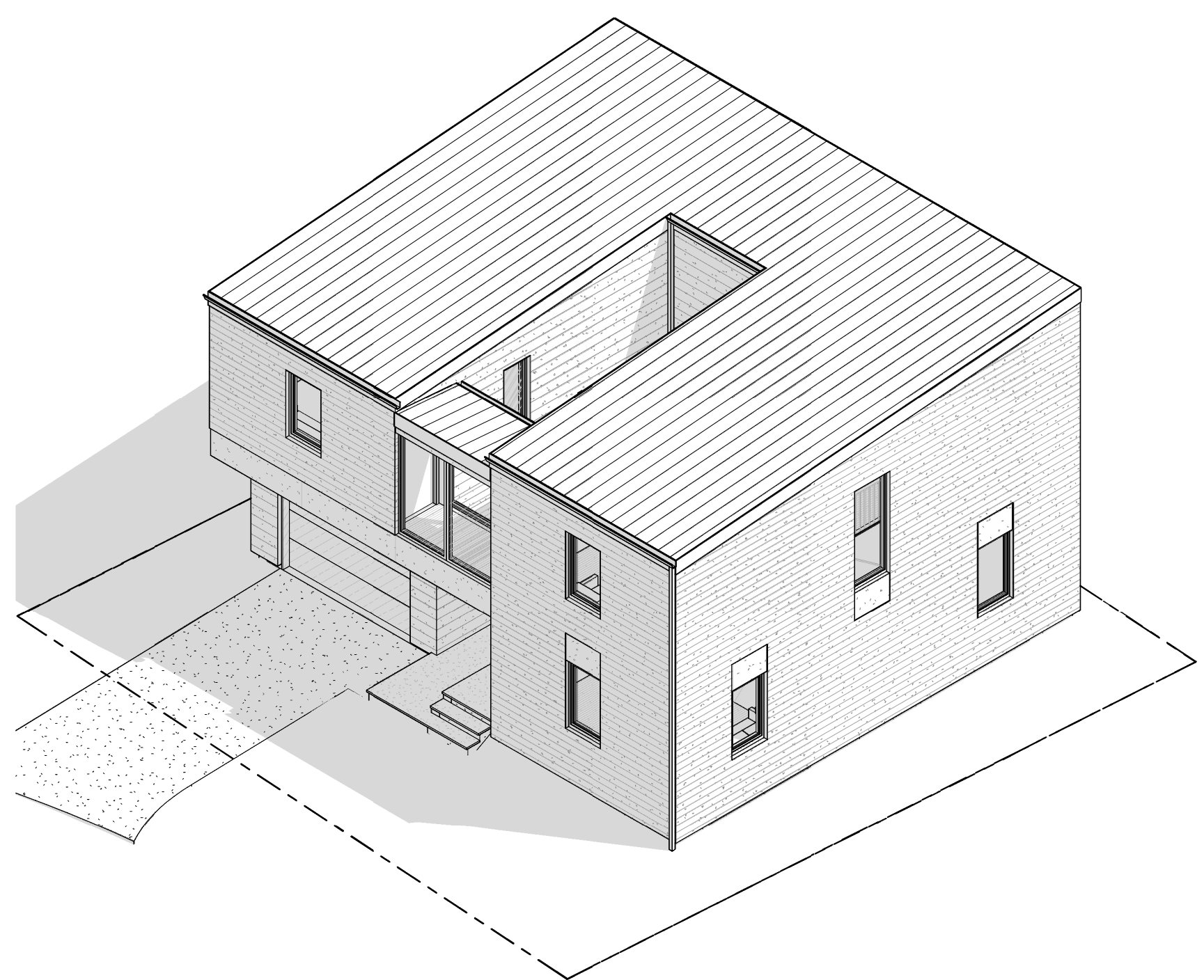
CONSULTANTS:
 STRUCTURAL ENGINEER
ASSOCIATED DESIGN PARTNERS INC.
 80 LEIGHTON RD.
 FALMOUTH, ME 04105



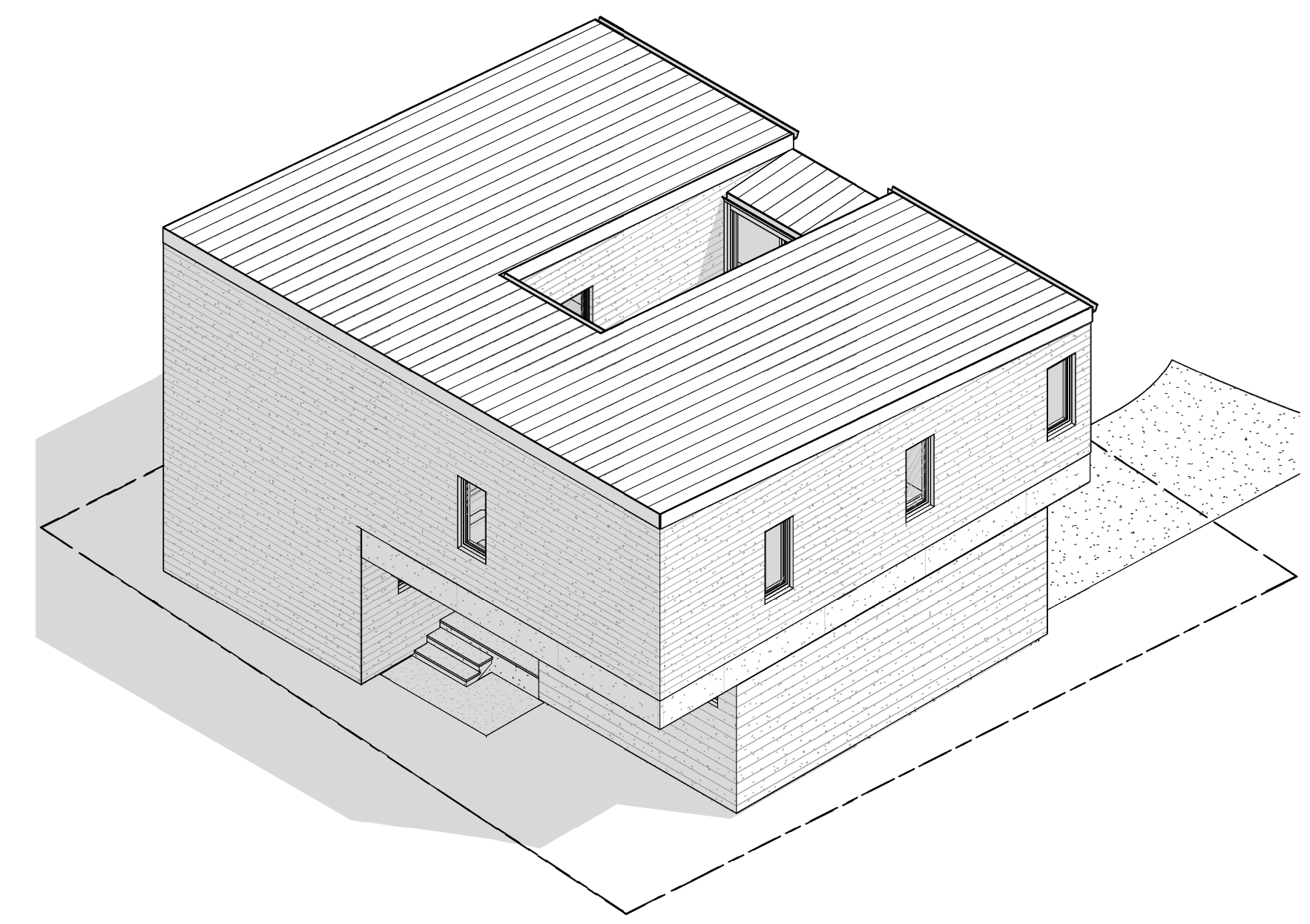
1 NORTHEAST ISOMETRIC



2 SOUTHEAST ISOMETRIC



3 SOUTHWEST ISOMETRIC



4 NORTHWEST ISOMETRIC

REVISION DATE:

NO.	DATE	DESCRIPTION
1	5/29/23	INITIAL TOF REVIEW
2	7/14/23	TOF REV.
3	1/31/24	TOF REV. 2

SEAL & SIGNATURE:

PROJECT:

**GALE
 RESIDENCE**

30 MORSE ST
 FREEPORT, ME 04032

DRAWING TITLE:

**BUILDING
 ISOMETRICS**

DATE: 1/31/24
 PROJECT #: 042
 SHEET #:

A900

GENERAL NOTES
 1. PROPRIETARY EXT. FIN. SPECIFICATIONS ARE PRELIMINARY & SUBJECT TO SUBSTITUTION DUE TO AVAILABILITY & COST. SUBSTITUTIONS SHALL BE OF THE SAME MATERIAL, ~ FACE DIM(S), & COLOR.
 2. 1/31/24 REVISIONS TO SHEET NOT CLOUDED CONSIST OF:
 A. ROOF CONFIGURATION
 B. SIDING ORIENTATION
 C. WINDOW PLACEMENT



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CLIENT:

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 FREEPORT, ME 04032

CONSULTANTS:

STRUCTURAL ENGINEER
ASSOCIATED DESIGN PARTNERS INC.
 80 LEIGHTON RD.
 FALMOUTH, ME 04105

REVISION DATE:

NO.	DATE	DESCRIPTION
1	5/29/23	INITIAL TOF REVIEW
2	1/31/24	TOF REV. 2

SEAL & SIGNATURE:

PROJECT:

GALE RESIDENCE

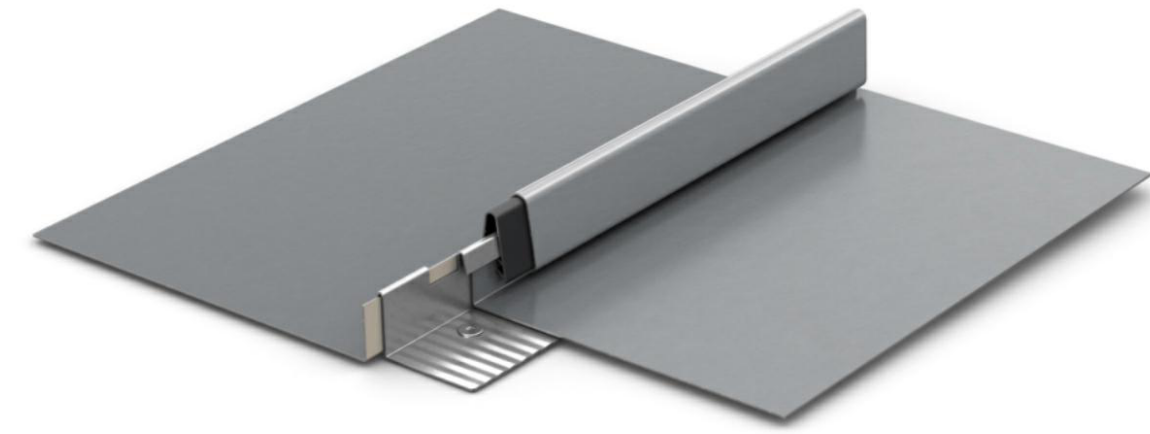
30 MORSE ST
 FREEPORT, ME 04032

DRAWING TITLE:

RENDERED VIEW & FINISH SPECS

DATE: 1/31/24
 PROJECT #: 042
 SHEET #:

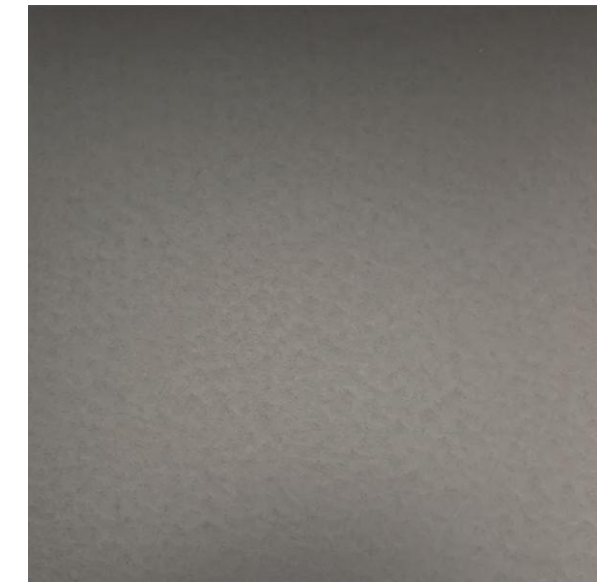
A901



STANDING SEAM METAL ROOF
 22g, 16" W, 1 1/2" RIB, HT. MECH. LOCK TYPE W/FACTORY PAINT FIN. IN "OLD ZINC GRAY" COLORWAY BY BRIDGER STEEL OR OTHER MFR.



FIBER-CEMENT SIDING
 JAMES HARDIE ARTISAN SHIPLAP SIDING W/ 9" EXPOSED FACE DIM. IMAGE ABOVE SHOWS SIDING W/ NO PAINT FIN.



WINDOWS & DOORS
 PRE-WEATHERED METALLIC PVDF FINISH, "URBANE BRONZE" BY SHERWIN WILLIAMS



METAL ROOF, ROOF ACCESSORY, & TRIM COLOR
 "OLD ZINC GRAY" BY BRIDGER STEEL OR SIM.



HORIZONTAL SIDING COLOR
 "MOUNT ETNA" BY SHERWIN WILLIAMS



STANDING SEAM MTL. ROOF W/ FACTORY PAINT FIN. (NOT VISIBLE)

1X12 FIBER-CEMENT FASCIA W/PAINT FIN. TO MATCH ROOF ABOVE

MTL. BOX GUTTER & DOWNSPOUT W/ PAINT FIN. TO MATCH ROOF ABOVE

FIBER-CEMENT FLR. BAND TRIM W/ PAINT FIN. IN COLORWAY TO MATCH OTHER TRIM

ALL WDW & DOOR FRAMES, & GARAGE DOOR PANEL W/FACTORY PAINT FIN. IN COLORWAY AS SPECIFIED ABOVE

RED DASHED LINE INDICATIVE OF PROPERTY LINE

GENERAL NOTES
 1. PROPRIETARY EXT. FIN. SPECIFICATIONS ARE PRELIMINARY & SUBJECT TO SUBSTITUTION DUE TO AVAILABILITY & COST. SUBSTITUTIONS SHALL BE OF THE SAME MATERIAL, - FACE DIM(S), & COLOR.



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CLIENT:

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CONSULTANTS:

STRUCTURAL ENGINEER
ASSOCIATED DESIGN PARTNERS INC.
 30 LEIGHTON RD.
 FALMOUTH, ME 04105

REVISION DATE:

NO.	DATE	DESCRIPTION

SEAL & SIGNATURE:

PROJECT:

GALE RESIDENCE

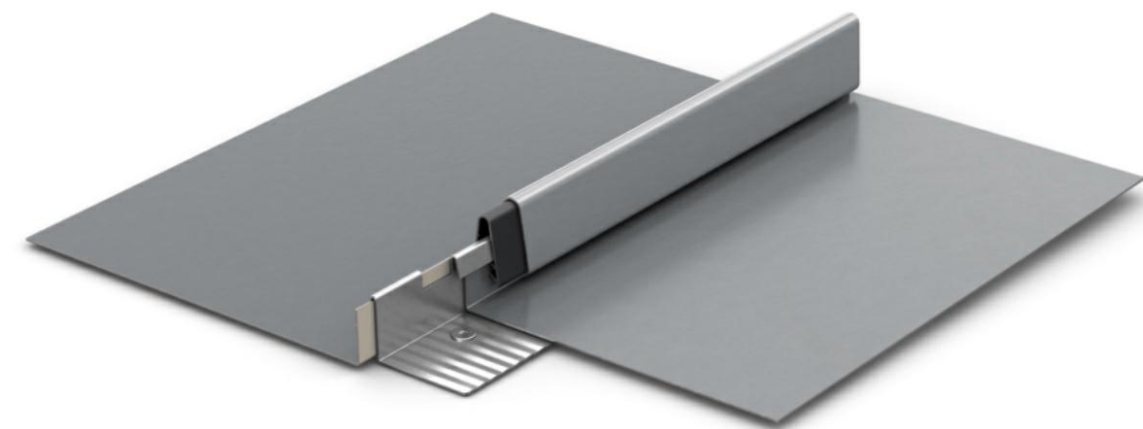
30 MORSE ST
 FREEPORT, ME 04032

DRAWING TITLE:

ALT. RENDERED VIEW & FINISH SPECS

DATE: 1/31/24
 PROJECT #: 042
 SHEET #:

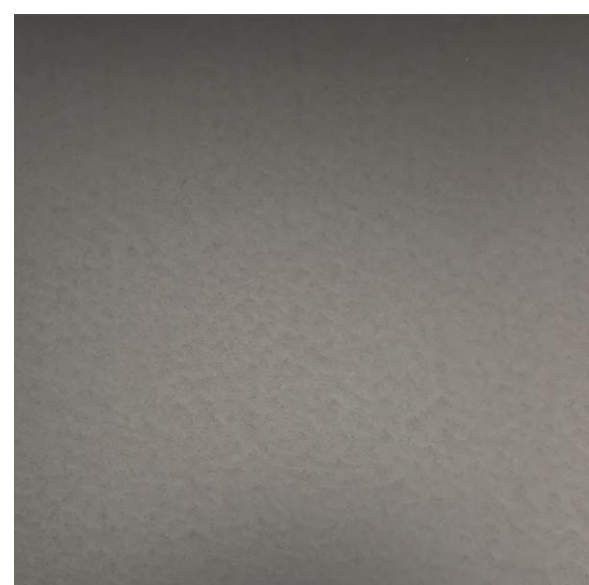
A902



STANDING SEAM METAL ROOF
 22g, 16" W, 1 1/2" RIB. HT. MECH. LOCK TYPE W/FACTORY PAINT FIN. IN COLORWAY CLOSEST TO "CITYSCAPE" COLORWAY BY SHERWIN WILLIAMS



FIBER-CEMENT SIDING
 JAMES HARDIE ARTISAN SHIPLAP SIDING W/ 9" EXPOSED FACE DIM. IMAGE ABOVE SHOWS SIDING W/ NO PAINT FIN.



WINDOWS & DOORS
 PRE-WEATHERED METALLIC PVDF FINISH, "URBANE BRONZE" BY SHERWIN WILLIAMS



METAL ROOF, ROOF ACCESSORY, & TRIM COLOR
 "CITYSCAPE" BY SHERWIN WILLIAMS



HORIZONTAL SIDING COLOR
 "LIGHT FRENCH GRAY" BY SHERWIN WILLIAMS



STANDING SEAM MTL. ROOF W/ FACTORY PAINT FIN. (NOT VISIBLE)

1X12 FIBER-CEMENT FASCIA W/PAINT FIN. TO MATCH ROOF ABOVE

MTL. BOX GUTTER & DOWNSPOUT W/ PAINT FIN. TO MATCH ROOF ABOVE

FIBER-CEMENT FLR. BAND TRIM W/ PAINT FIN. IN COLORWAY TO MATCH OTHER TRIM

ALL WDW & DOOR FRAMES, & GARAGE DOOR PANEL W/FACTORY PAINT FIN. IN COLORWAY AS SPECIFIED ABOVE

RED DASHED LINE INDICATIVE OF PROPERTY LINE