



Sketch Plan and Design Review Retail Campus Master Plan Improvements

Prepared for
L.L. Bean, Inc.
15 Casco Street
Freeport, Maine 04032

Prepared by
Sebago Technics
75 John Roberts Rd.
South Portland, ME 04106

May 2023
93219-10

May 1, 2023
93219-10

Ms. Caroline Pelletier
Town Planner
30 Main Street
Freeport, ME 04032

Sketch Plan and Design Review: Retail Campus Master Plan Improvements
L.L Bean, Inc., Freeport

Dear Caroline:

On behalf of L.L. Bean, Inc., Sebago Technics Inc. is pleased to submit the attached Sketch Plan and Design Review submittal for review. The applicant proposes improvements across the L.L. Bean, Inc. campus, including expanding the recreational area and renovation of the Flagship Building. The proposed project area is in the Village Commercial (VC-1) zone. The Flagship Entrance and Main Campus corridor is located within the Design Review District, and improvements/alterations are proposed for a “B” rated structure within the existing Flagship Building which by ordinance requires a Design Review certificate for the demolition, renovation and construction of the new Flagship building.

Recognizing the size of the campus and the improvements, we have summarized the improvements by location on the campus.

Project Area One: Main Street Façade from Justin’s Way toward Bike, Boat, and Ski

Improvements to the eastern façade of the Flagship Store along Main Street will support the applicant’s plans to move their bike shop services into the eastern area of the Flagship Store. Proposed improvements in this area include a flat entry plaza and associated retaining walls at the corner of Justin’s Way and Main Street to accommodate a north entrance for the bike shop. Proposed improvements include demolishing the waterfall and associated landscaping along Main Street. This area will be completely rethought and replaced with pedestrian space and landscaping to support a southern entrance for the bike shop. Existing retaining walls and stairs will be eliminated, and a new staircase to the upper façade from Main Street will be created with associated retaining walls and a robust “borrowed Maine landscape” that will highlight the vegetation of Maine.

Project Area Two: Main Street Frontage of Former Bike, Boat, and Ski to Nathan Nye

Development in the area of the existing Bike, Boat, and Ski building and Moose Parking Lot requires the existing building and parking lot area to be demolished. The area will be

turned into a park space designed to interconnect with the existing interior park and lawn area. Pedestrian plazas, landscape areas, open green, and park space will strengthen connections with surrounding retail developments along Main Street. They will offer visibility and pedestrian access from Main Street into the LL Bean Flagship Campus. This area will also feature the construction of a utility duct bank and raceways to support events and simplify underground utilities across the development.

Project Area Three: Ben & Jerry's, Home Store, and Nathan Nye Frontage

The area surrounding the existing Ben and Jerry's Building and Home Store, including the streetscape, interior parks, and the expansive lawn area used for Summer in the Park concerts, will interconnect with improvements from the demolition of the Moose Parking Lot. The drive aisle north of the Home Store will be demolished. A 20' wide central walkway will be constructed along the front of the Home Store leading to the new Flagship Store's main entrance. The walkway will be wide enough for emergency vehicle access.

The existing stage area will be preserved, and the connecting lawn area will be expanded and rebuilt to improve drainage and create green space. Two utility buildings replacing the existing sheds are proposed to house the technology and infrastructure required for the stage and proposed park features.

Project Area Four: Black Bear Parking Lot and Visitor Drop-off

The existing Black Bear Parking Lot area at the corner of Cross Street and Nathan Nye Street will be reconfigured and rebuilt to accommodate accessible parking. A dedicated drop-off lane along the southeast edge of the parking lot will be constructed, allowing for clear vehicular circulation with pedestrian crosswalks and clear access to the retail campus. New associated lighting, landscaping, and amenities will be added to the area to enhance the campus and the visitor experience. Further, the large stand of trees behind the stage will be preserved.

Project Area Five: Coyote Parking Lot and Hunt Fish Store

Improvements in the area of the existing Coyote Parking Lot and back-of-house operations area at the corner of Justin's Way and Cross Street will include reconfiguring the lot to eliminate the existing entrance on Cross Street and to accommodate a Thule rack installation structure in the northern corner of the lot. A new kayak storage structure is proposed on the north side of the proposed Thule rack installation structure. The kayak structure would be accessed via an expanded paved area with an entrance from Justin's Way. Retail and Customer Pick-up access will be created along the side of the Hunt Fish Store. The pedestrian plaza, existing stormwater basins, and green space will be redesigned to allow clear access for customer service and visitor access into the campus.

Project Area Six: Boot Plaza, Promenade, and Flagship Entry:

Development to the area of the southwest facing façade of the Flagship store, the existing walkways leading to the main entrance, the existing Moose Parking Lot, and the vehicular driveway will be eliminated and replaced with pedestrian plazas and vegetated areas. The Main Entrance to the Flagship store will be repositioned, and a new, more interactive Bean Boot will be featured to the right of the Main Entrance. New landscaping beds along retail window displays, seat walls, and clustered firepits with Adirondack chairs are proposed to frame the concert lawn. The largest building façade renovation and reconstruction area will occur within this project area. Further, the area of the Class B structure exists within this project area.

Across the campus, amenities such as updated pedestrian lighting, utilities, directional signage, landscaping, irrigation, water stations, and trash and recycling receptacles will be included.

Included in this application please find:

- Right, Title, and Interest
- Existing Conditions Survey
- Project Area Graphic
- Aerial Photograph
- Concept Plan
- 3D Model Concept
- Exhibit of Class B Building Location

We look forward to discussing these proposed improvements with the Project Review Board at the next meeting to discuss this Sketch Plan in more detail. We would be happy to coordinate a site walk to further aid in your review. Upon reviewing this application, please reach out with any questions or requests for additional information. At the Sketch Plan Review meeting, we hope to bring conceptual elevations for discussion. We aim to introduce the project and hear any concerns or feedback the Project Review Board may have as we move into technical and design development. Thank you for your time and consideration.

Sincerely,

SEBAGO TECHNICS, INC.



Kylie S. Mason, R.L.A., LEED-AP
Chief Operations Officer
Maine Licensed Landscape Architect



**Town of Freeport
Planning Department
30 Main Street
Freeport, ME 04032
(207) 865-4743 ext. 107**

1. SUBMISSIONS

- Twelve (12) copies each of the completed application form and a copy of the recorded deed(s) for the property. If the applicant is not the property owner, a purchase and sale agreement or a lease agreement shall also be submitted to show that the applicant has a serious interest in the project and sufficient title, right, and/or interest to complete the project. *The amount being paid for the property may be blacked out.*
- For applications to the Project Review Board, you must also submit twelve (12) copies of all other supplemental materials collated into individual packets which will fit into a large manila envelope. Please clip materials together; do not use special binding or binders. If copies of plans are being submitted, please include 2 full size sets (24" x 36") and 10 copies reduced to 11" x 17". The scale of any site plans shall be sufficient to allow review under the Criteria and Standards of Section 602.G of the Freeport Zoning Ordinance, but at not more than 50 feet to the inch for that portion of the total tract of land being proposed for development. **All plan sheets must also be submitted electronically in a pdf format.** For a complete list of detailed submission requirements, please refer to the applicable ordinance(s) which may include the Design Review Ordinance, the Subdivision Ordinance or the Zoning Ordinance (Section 602 – Site Plan Review).

For applications to the Planning Board, you must also submit eight (8) copies of all other supplemental materials.

- Payment of application fee and abutter fee (if applicable)
- This application form, along with the required accompanying materials, must be submitted to the Town Planner at least 21 days prior to the meeting at which it is to be considered.
- The applicant or an agent needs to be present at the meeting to present the application to the Board. If the applicant is going to be represented by someone other than themselves, they must submit a signed letter of authorization.

2. ABUTTERS

Abutters will be notified as required by State and Town regulations. Abutters will be determined by the Freeport Planning Department using most recent Assessing Records. If there are other people that you would like notified of the meeting, their contact information (either mailing address or email address) must be submitted with the application form. A fee of \$2.50 per abutter will be charged.

3. FEES

Refer to current fee schedule.

**Town of Freeport
Planning Department**

Application for Review

Project Type: (check all applicable)

_____ Site Plan Review _____ Design Review Certificate _____ Subdivision
_____ Zoning Ordinance Amendment _____ Other (please explain) _____

Name of Project: _____

Proposed Use of Property: _____

1) Applicant Information:

Name: _____ Tel: _____
(If a Company, provide name of person also)

Address: _____

Email: _____

2) Interest in Property: Please attach a copy of the recorded deed for the property. If the applicant is not the property owner, a purchase and sale agreement or a lease agreement shall also be submitted to show that the applicant has a serious interest in the project and sufficient title, right, and/or interest to complete the project. The amount being paid for the property may be blacked out. This application will not be processed without this information.

3) Do you own any abutting property? Yes No

If yes, please explain: _____

4) Property Information:

Present Use of Property _____

Location: Street Address _____

Assessor's Office Map: _____

Lot: _____

Size of Parcel (acres): _____

Zoning District (s): _____

5) Design Review Information (please circle one from each category)

Design Review District: One Two Not in the Design Review District

Building Class, as designated on the Design Review District Map(s): A B C

Is this building in the Color Overlay District: Yes No

Please describe the proposed changes: _____

6) Other Information:

Proposed # of Buildings: _____ Gross Square Footage of Non-Residential Buildings: _____

Is Zoning Board of Appeals Approval Required? Yes No

If YES, provide reason _____

7) Subdivision Approval or a Subdivision Amendment: (if applicable)

Proposed Number of Lots _____

Does the applicant intend to request any waivers of Subdivision or Site Review provisions?

NO _____ YES _____

If YES, list and give reasons why _____

8) Applicant's Engineer, Land Surveyor, Landscape Architect and/or Planner:

Name: _____ Tel: _____

Address: _____

Email: _____

9) Billing Contact (If different than applicant information)

Name: _____ Tel: _____

Address: _____

Email: _____

Application Fee: \$ _____ **Abutter Fee:** \$ _____

Submission: This application form, along with required accompanying materials, must be submitted to the Town Planner at least 21 days prior to the meeting at which it is to be considered.

The undersigned, being the applicant, owner or legally authorized representative, states that all information in this application is true and correct to the best of his/her knowledge and hereby does submit the information for review by the town and in accordance with applicable ordinances, statutes and regulations of the Town, State and Federal governments.



DATE

SIGNATURE OF APPLICANT/OWNER/REPRESENTATIVE

AGENT AUTHORIZATION

APPLICANT/ OWNER	Name	L.L.Bean, Inc. Casco Street, Freeport, ME 04033		
PROPERTY DESCRIPTION	Physical Address	Casco Street Freeport, ME 04033	Map	
			Lot	
APPLICANT'S AGENT INFORMATION	Name	Kylie S. Mason, RLA, LEED-AP		
	Phone	207-200-2071	Business Name & Mailing Address	75 John Roberts Road, Suite 4A South Portland, ME 04106

Said agent(s) may represent me/us before Town of Freeport Planning Board and the State Department of Environmental Protection to expedite and complete the approval of the proposed development for this parcel.

David Lockman 5-3-19

APPLICANT SIGNATURE DATE

David Lockman
Director of Real Estate &
Construction

PLEASE TYPE OR PRINT NAME HERE

Kylie S. Mason 5-6-2019

APPLICANT'S AGENT SIGNATURE DATE

KYLIE S. MASON *Site*

PLEASE TYPE OR PRINT NAME HERE

CONFIRMATORY AND SUPPLEMENTARY QUITCLAIM DEED
STATUTORY SHORT FORM
TITLE 33, §775

L. L. Bean, Inc., a Maine corporation, with a mailing address of Casco Street, Freeport, Maine 04033, releases to L. L. Bean, Inc., a Maine corporation, with a mailing address of Casco Street, Freeport, Maine 04033, certain lots or parcels of land situated in the Town of Freeport, County of Cumberland, and State of Maine, as described in **Exhibit A** attached hereto and made a part hereof.

This deed is given without additional consideration and without changing ownership or ownership interest, to confirm and supplement the following previously recorded deeds:

- a) Deed of Debra J. Lausier to L. L. Bean, Inc. dated October 31, 1994, and recorded at the Cumberland County Registry of Deeds in Book 11694, Page 178.
- b) Deed of Debra J. Lausier to L. L. Bean, Inc. dated July 17, 1992, and recorded at the Cumberland County Registry of Deeds in Book 10182, Page 137;
- c) Deed of Pauline F. Reynolds to L. L. Bean, Inc. dated September 23, 1970, and recorded at the Cumberland County Registry of Deeds in Book 3145, Page 385;
- d) Deed of Leon L. Bean to L. L. Bean, Inc. dated July 1, 1965, and recorded at the Cumberland County Registry of Deeds in Book 2907, Page 176;
- e) Deed of Leon L. Bean to L. L. Bean, Inc. dated July 19, 1947, and recorded at the Cumberland County Registry of Deeds in Book 1880, Page 50;
- f) Deed of Thelma G. Snow to L. L. Bean, Inc. dated April 13, 1968, and recorded at the Cumberland County Registry of Deeds in Book 3037, Page 804;
- g) Deed of Freeport Veterans, Inc. to L. L. Bean, Inc. dated October 19, 1949, and recorded at the Cumberland County Registry of Deeds in Book 1977, Page 320;
- h) Deed of John W. Skillin, Beth D. Hill, and Laura H. Skillin to L. L. Bean, Inc. dated January 11, 1982, and recorded at the Cumberland County Registry of Deeds in Book 4907, Page 258;
- i) Deed of Lois Van Pelt-Marki to L. L. Bean, Inc. dated April 1, 1994, and recorded at the Cumberland County Registry of Deeds in Book 11377, Page 167;
- j) Deed of Maureen A. Babicki to L. L. Bean, Inc. dated January 9, 1992, and recorded at the Cumberland County Registry of Deeds in Book 9997, Page 53;

- k) Deed of Hazel M. Bean, Claire L. Bean, Barbara B. Gorman, and H. June Bean to L. L. Bean, Inc. dated May 28, 1951, and recorded at the Cumberland County Registry of Deeds in Book 2046, Page 403;
- l) Deed of Isaac S. Skillin to L. L. Bean, Inc. dated October 1, 1952, and recorded at the Cumberland County Registry of Deeds in Book 2236, Page 21;
- m) Deed of Carlene J. Stairs to L. L. Bean, Inc. dated December 21, 1993, and recorded at the Cumberland County Registry of Deeds in Book 11220, Page 159;
- n) Deed of Mary E. Dolloff and Harold E. Dolloff to L. L. Bean, Inc. dated July 2, 1985, and recorded at the Cumberland County Registry of Deeds in Book 6811, Page 197;
- o) Deed of Jane Geelhoed to L. L. Bean, Inc. dated November 29, 1991, and recorded at the Cumberland County Registry of Deeds in Book 9813, Page 182;
- p) Deed of Clifford Condon to L. L. Bean, Inc. dated May 8, 1995, and recorded at the Cumberland County Registry of Deeds in Book 11914, Page 10;
- q) Deed of Theohome Realty to L. L. Bean, Inc. dated December 12, 1962, and recorded at the Cumberland County Registry of Deeds in Book 2722, Page 363;
- r) Deed of J. Edward Davis and William Shirley Davis Sr. to L. L. Bean, Inc. dated August 20, 1963, and recorded at the Cumberland County Registry of Deeds in Book 2774, Page 380;
- s) Deed of B&J Realty Partnership to L. L. Bean, Inc. dated June 1, 2007, and recorded at the Cumberland County Registry of Deeds in Book 25220, Page 111;
- t) Deed of Melodee G. MacKinnon and Brad R. MacKinnon to L. L. Bean, Inc. dated August 10, 1994, and recorded at the Cumberland County Registry of Deeds in Book 11600, Page 157.
- u) Deed of Hazel M. Bean to L. L. Bean, Inc. dated May 27, 1957, and recorded at the Cumberland County Registry of Deeds in Book 2355, Page 195;
- v) Deed of Lyla E. St. Louis to L. L. Bean, Inc. dated January 17, 1995, and recorded at the Cumberland County Registry of Deeds in Book 11800, Page 130;
- w) Deed of Dennis E. Daniel and Ruth N. Daniel to L. L. Bean, Inc. dated January 10, 1992, and recorded at the Cumberland County Registry of Deeds in Book 9997, Page 65;
- x) Deed of Blanche L. Roberts to L. L. Bean, Inc. dated July 25, 1980, and recorded at the Cumberland County Registry of Deeds in Book 4639, Page 14;

- y) Deed of Lester Hughes and Kathleen J. Hughes to L. L. Bean, Inc. dated June 1, 1970, and recorded at the Cumberland County Registry of Deeds in Book 3129, Page 175;
- z) Deed of Mobil Oil Corporation to L. L. Bean, Inc. dated March 13, 1972, and recorded at the Cumberland County Registry of Deeds in Book 3221, Page 291;
- aa) Deed of Louis S. Bailey, Jr. and Alice I. Bailey to L. L. Bean, Inc. dated August 25, 1982, and recorded at the Cumberland County Registry of Deeds in Book 5018, Page 2;
- bb) Deed of Jose E. Chang and Nancy L. Chang to L. L. Bean, Inc. dated April 28, 1977, and recorded at the Cumberland County Registry of Deeds in Book 4012, Page 50;
- cc) Deed of Sabra C. Burdick to L. L. Bean, Inc. dated January 21, 1992, and recorded at the Cumberland County Registry of Deeds in Book 9955, Page 286;
- dd) Deed of Jane G. Hall to L. L. Bean, Inc. dated December 19, 1994, and recorded at the Cumberland County Registry of Deeds in Book 11764, Page 86;
- ee) Deed of James D. Donoghue and Carrie P. Donoghue to L. L. Bean, Inc. dated September 22, 1994, and recorded at the Cumberland County Registry of Deeds in Book 11642, Page 161;
- ff) Deed of Harold L. Morse to L. L. Bean, Inc. dated September 9, 1996, and recorded at the Cumberland County Registry of Deeds in Book 12719, Page 45;
- gg) Deed of Linda Barrett to L. L. Bean, Inc. dated September 20, 1996, and recorded at the Cumberland County Registry of Deeds in Book 12770, Page 115;
- hh) Clerk's Certificate dated August 26, 1996, and recorded at the Cumberland County Registry of Deeds in Book 12707, Page 145; and Order dated January 15, 1997, and recorded at the Cumberland County Registry of Deeds in Book 12919, Page 127;
- ii) Deed of Robert F. Fusselman and Susan M. Fusselman to L. L. Bean, Inc. dated February 24, 1995, and recorded at the Cumberland County Registry of Deeds in Book 11832, Page 165;
- jj) Town of Freeport Discontinuance Order dated August 19, 2008, and recorded at the Cumberland County Registry of Deeds in Book 26325, Page 44; and

This deed has been executed, delivered, accepted and recorded in the Cumberland County Registry of Deeds by L. L. Bean, Inc. to itself for the purpose of placing of record a metes and bounds description of a single lot comprised all the abutting lots acquired by L. L. Bean, Inc. by

virtue of the deeds referred to above, it being L. L. Bean, Inc.'s intent that said abutting lots shall be merged and hereafter be deemed a single parcel for assessment for real estate taxes and for zoning purposes.

DATED: December 12, 2022

L. L. Bean, Inc.

By: *George A Mayo*
George A. Mayo
Its: Vice President Facilities

STATE OF MAINE
COUNTY OF CUMBERLAND

December 12, 2022

Then personally appeared George A. Mayo, Vice President Facilities of L. L. Bean, Inc., and acknowledged the foregoing instrument to be his free and deed in his capacity and the free act and deed of said corporation.

Before me,

Beth B LeBlanc
Notary Public/Attorney at Law
Beth B. LeBlanc
(Print Name)

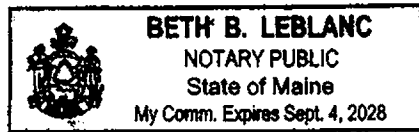


Exhibit A
L. L. Bean Property Description

A certain lot or parcel of land located on the northwesterly side of Main Street in the Town of Freeport, County of Cumberland, State of Maine and being depicted on a plan titled "Existing Conditions Plan of L.L. Bean Retail Campus, 95 Main Street, Freeport, Maine for Record Owner L.L. Bean, Inc., 15 Casco Street, Freeport, Maine, 04033" dated January 28, 2022 and revised through August 17, 2022 by Sebago Technics Inc., and being more particularly bounded and described as follows:

Beginning at a point on the northwesterly side of Main Street at the intersection with the southwesterly side of Justin's Way;

Thence S 20°16'35" W, along Main Street, a distance of 282.12 feet;

Thence S 56°02'55" W, along Main Street, a distance of 96.24 feet to land now or formerly of Down East Energy Corp. as described in a deed recorded at the Cumberland County Registry of Deeds ("CCRD") in Book 6201, Page 308;

Thence N 37°11'51" W, along land now or formerly of Down East Energy Corp., a distance of 85.36 feet; Thence S 52°20'20" W, along land now or formerly of Down East Energy Corp., a distance of 20.19 feet;

Thence S 54°49'32" W, along land now or formerly of Down East Energy Corp., a distance of 206.56 feet to land now or formerly of the Town of Freeport as described in a deed recorded at the CCRD in Book 2820, Page 129;

Thence N 43°48'13" W, along land now or formerly of the Town of Freeport, a distance of 15.17 feet;

Thence S 55°11'41" W, along land now or formerly of the Town of Freeport, a distance of 60.06 feet to the northerly sideline of Nathan Nye Street;

Thence N 44°01'09" W, along Nathan Nye Street, a distance of 69.26 feet;

Thence N 53°03'21" W, along Nathan Nye Street, a distance of 286.16 feet, being S 55°49'34" E, a distance of 0.48 feet from a granite monument found;

Thence N 33° 27' 12" E, along Nathan Nye Street, a distance of 6.94 feet;

Thence N 56°29'35" W, along Nathan Nye Street a distance of 99.78 feet to the south easterly sideline of Cross Street;

Thence N 33°30'22" E, along Cross Street, a distance of 525.27 feet;

Thence along a tangential circular curve concave to the south, Cross Street, and Justin's Way as defined by the following curve elements: having a radius of 15.00 feet, an arc length of 22.85 feet and a chord which bears N 77°08'43" E, with a chord length of 20.70 feet;

Thence S 59°13'08" E, along Justin's Way, a distance of 131.82 feet; Thence S 57°06'13" E, along Justin's Way, a distance of 339.22 feet;

Thence S 60° 38' 48" E, along Justin's Way a distance of 139.78 feet to the Point of Beginning.

Subject to a 10 foot wide water pipe line easement to the Town of Freeport as described in deeds recorded at the CCRD in Book 2370, Page 369, and in Book 1086, Page 351

Subject to a public utility easement in the former location of Morse Street which was discontinued. Said discontinuance is recorded at the CCRD in Book 26325, Page 44.

Basis of bearing is Grid North, Maine State Plane Coordinate System West Zone 1802, NAD83.

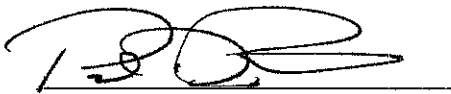
Reference is made to a plan titled "Existing Conditions Plan of L.L. Bean Retail Campus, 95 Main Street, Freeport, Maine for Record Owner L.L. Bean, Inc., 15 Casco Street, Freeport, Maine, 04033" dated January 28, 2022 and revised through August 17, 2022 by Sebago Technics Inc.

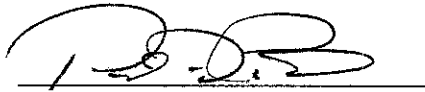
Memorandum of Assignment of Leasehold Interest

Notice is hereby given of that the leasehold interest of **57 MAIN STREET LLC**, a Maine limited liability company, and **CABO REALTY LLC**, a Maine limited liability company, as tenants (collectively, "Assignor") in and to a certain Lease originally entered into between **DOWN EAST ENERGY CORP. N/K/A DOWNEAST ENERGY CORP.** ("Downeast"), as landlord, and **FREEPORT JUNCTION ASSOCIATES LIMITED PARTNERSHIP** ("FJA"), as tenant, dated February 28, 1994 (the "Lease"), as evidenced by a Memorandum of Ground Lease dated February 28, 1994 and recorded in the Cumberland County Registry of Deeds in Book 11314, Page 167 (the "Memorandum"), as previously assigned by FJA to Assignor pursuant to Assignment and Assumption of Lease dated October 11, 2005, and recorded in said Registry of Deeds in Book 23501, Page 177, has been further assigned by Assignor to **L. L. BEAN, INC.**, a Maine corporation with a mailing address of Casco Road, Freeport, Maine 04033, effective as of December 15, 2005.

IN WITNESS WHEREOF, Assignor and Assignee have executed this Memorandum of Assignment of Leasehold Interest on the dates set forth below.

WITNESS:





WITNESS: *Julia Tate*

Karen L. Levesque

**KAREN L. LEVESQUE
NOTARY PUBLIC
STATE OF MAINE
My Commission Expires July 16, 2010**

SEAL

ASSIGNOR:

57 MAIN STREET LLC

By: 
Joseph F. Boulos
Its Manager

Date: Dec 15, 2005

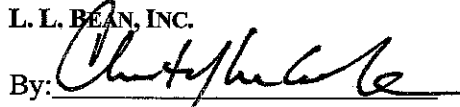
CABO REALTY LLC

By: 
Gregory W. Boulos
Its Manager

Date: December 15, 2005

ASSIGNEE:

L. L. BEAN, INC.

By: 
Christopher J. McCormick
Its President and Chief Executive Officer

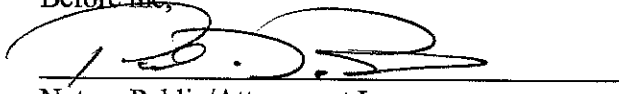
Date: December 14, 2005

STATE OF MAINE
Cumberland County

December 15, 2005

Personally appeared the above-named Joseph F. Boulos, Manager of 57 Main Street LLC, and acknowledged the foregoing to be his free act and deed in his said capacity and the free act and deed of said limited liability company.

Before me,



Notary Public/Attorney at Law

Print Name: Paul D. PIETROPOLI

STATE OF MAINE
Cumberland County

December 15, 2005

Personally appeared the above-named Gregory W. Boulos, Manager of Cabo Realty LLC, and acknowledged the foregoing to be his free act and deed in his said capacity and the free act and deed of said limited liability company.

Before me,



Notary Public/Attorney at Law

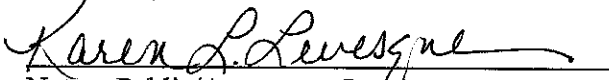
Print Name: Paul D. PIETROPOLI

STATE OF MAINE
Cumberland County

12 / 14, 2005

Personally appeared the above-named Christopher J. McCormick, President and Chief Executive Officer of L. L. Bean, Inc., and acknowledged the foregoing to be his free act and deed in his said capacity and the free act and deed of said corporation.

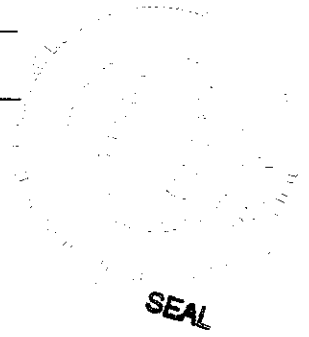
Before me,



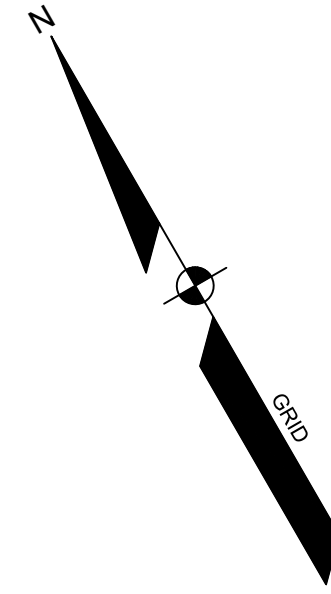
Notary Public/Attorney at Law

Print Name: Karen L. Levesque

KAREN L. LEVESQUE
NOTARY PUBLIC
STATE OF MAINE
My Commission Expires July 16, 2010

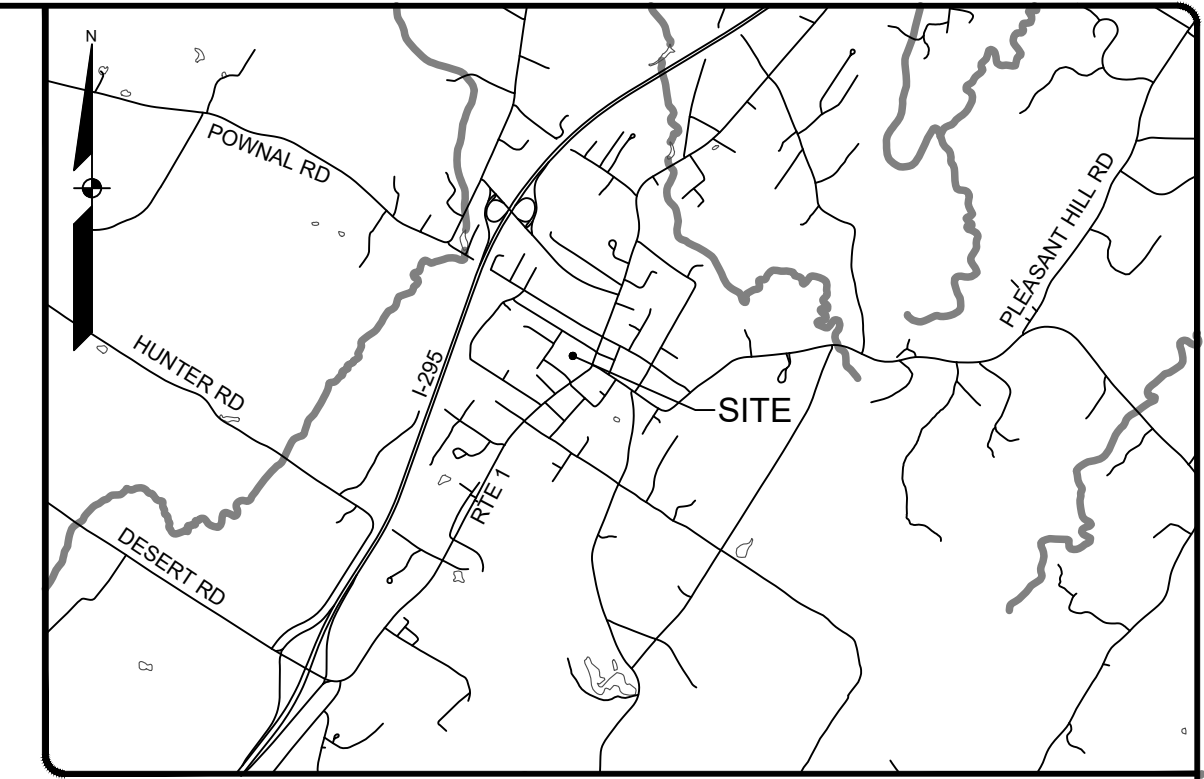
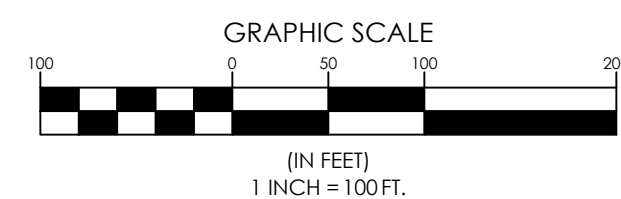
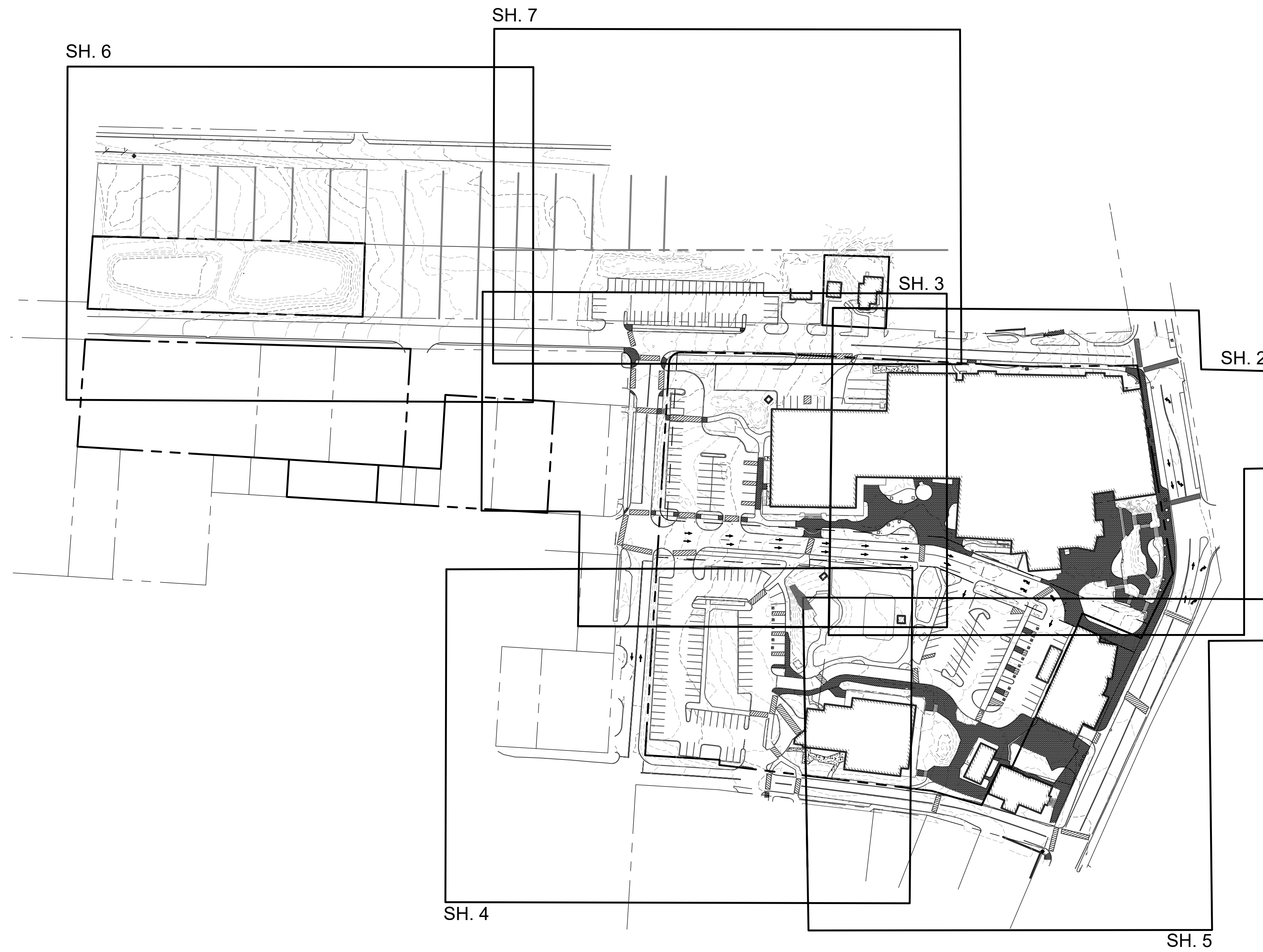


Received
Recorded Register of Deeds
Dec 15, 2005 03:19:30P
Cumberland County
John B O'Brien



L.L. BEAN CAMPUS

EXISTING CONDITIONS LAYOUT



LOCATION MAP N.T.S.
GENERAL NOTES:

- THE RECORD OWNER OF THE PARCEL IS L. L. BEAN, INC BY THE FOLLOWING DEEDS RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD)

BOOK 11694, PAGE 178	BOOK 10182, PAGE 137	BOOK 1504, PAGE 299
BOOK 3145, PAGE 385	BOOK 2907, PAGE 176	BOOK 1680, PAGE 50
BOOK 3037, PAGE 804	BOOK 1977, PAGE 320	BOOK 4907, PAGE 258
BOOK 11377, PAGE 167	BOOK 9997, PAGE 53	BOOK 2046, PAGE 403
BOOK 2236, PAGE 21	BOOK 11220, PAGE 159	BOOK 6811, PAGE 197
BOOK 9813, PAGE 182	BOOK 11914, PAGE 10	BOOK 2722, PAGE 363
BOOK 2774, PAGE 380	BOOK 25220, PAGE 111	BOOK 11600, PAGE 157
BOOK 2355, PAGE 195	BOOK 11800, PAGE 130	BOOK 9997, PAGE 65
BOOK 4639, PAGE 14	BOOK 3129, PAGE 175	BOOK 3221, PAGE 291
BOOK 5018, PAGE 2	BOOK 4012, PAGE 50	BOOK 9955, PAGE 286
BOOK 11764, PAGE 86	BOOK 11642, PAGE 161	BOOK 12707, PAGE 145
BOOK 11832, PAGE 165	BOOK 26325, PAGE 44	BOOK 39892, PAGE 291
- THE PROPERTY IS SHOWN AS LOT 64ETC AND 36ETC ON THE TOWN OF FREEPORT TAX MAP 11 AND IS LOCATED IN DISTRICT 1.
- SPACE AND BULK CRITERIA FOR DISTRICT 1 ARE AS FOLLOWS:

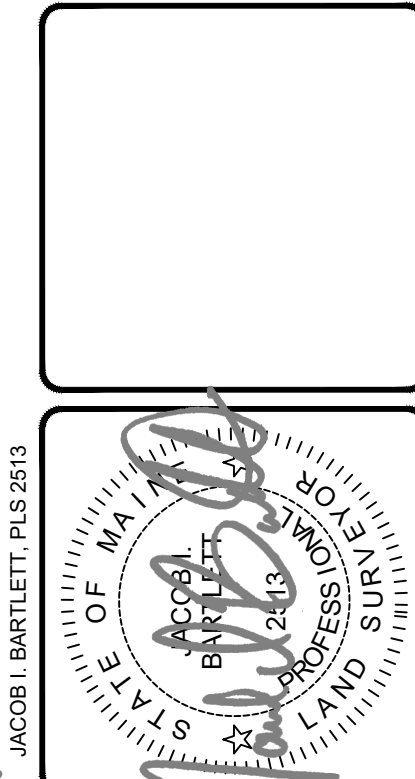
NET RESIDENTIAL DENSITY:	N/A
MINIMUM LOT SIZE:	8,000 S.F.
MINIMUM STREET FRONTAGE:	NONE
MINIMUM FRONT YARD:	WHERE A SIDEWALK EXISTS: I. NEW STRUCTURES: - 10 FEET FROM THE PROPERTY LINE IF ROOF PITCHES TOWARD THE SIDEWALK; - 5 FEET FROM THE PROPERTY LINE IF ROOF PITCHES AWAY FROM THE SIDEWALK; II. ADDITIONS TO EXISTING STRUCTURES: THE DISTANCE BETWEEN THE CLOSEST POINT OF THE EXISTING BUILDING AND THE EDGE OF THE SIDEWALK CLOSEST TO THE BUILDING, IN NO INSTANCE SHALL THE ADDITION ENCRoACH INTO THE PUBLIC RIGHT-OF-WAY
	WHERE NO SIDEWALKS EXISTS: - 15 FEET FROM PROPERTY LINE
- MINIMUM SIDE & REAR YARD:

NONE IF NON-COMBUSTIBLE CONSTRUCTION IS USED AND ROOF DOES NOT PITCH IN THAT DIRECTION.
FIVE (5) FEET IF NON-COMBUSTIBLE CONSTRUCTION IS USED AND ROOF PITCHES IN THAT DIRECTION.
FIFTEEN (15) FEET FOR COMBUSTIBLE CONSTRUCTION OR WALLS WITH POINTS OF INGRESS OR EGRESS IN THEM.
- MAXIMUM BUILDING HEIGHT: UP TO 3 STORIES (MAXIMUM HEIGHT OF 45 FEET)
- MAXIMUM LOT COVERAGE: 90%

* SEE ORDINANCE FOR MORE PARTICULAR INFORMATION.
- TOTAL AREA OF PARCEL IS APPROXIMATELY 7.83 ACRES.
- BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON PLAN REFERENCE 6A AND UPDATED RESEARCH: TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON FIELD WORK PERFORMED BY SEBAGO TECHNICS, INC. IN NOVEMBER OF 2020. TRADITIONAL SURVEY MEANS AND METHODS SUPPLEMENTED WITH AERO-GEOMATIC/SUAS BASED PHOTOGRAMMETRY & LIDAR WERE EMPLOYED IN THE COLLECTION OF THIS TOPOGRAPHIC INFORMATION
- PLAN REFERENCES:
 - "EXISTING CONDITIONS & BOUNDARY SURVEY OF L.L. BEAN, INC. PROPERTY, MAIN STREET, MORSE STREET, CROSS STREET, NATHAN NYE STREET AND CUSHING AVENUE, FREEPORT, MAINE FOR RECORD OWNER L.L. BEAN, INC. CASCO STREET, FREEPORT MAINE" DATED MARCH 21, 1996 BY SEBAGO TECHNICS, INC., JOB NUMBER 93219.
 - "MAP SHOWING DESIGNATED SUBSURFACE UTILITIES OF A PORTION OF LL BEAN, TOWN OF FREEPORT, COUNTY OF CUMBERLAND, STATE OF MAINE", BY SUBSURFACE UTILITY IMAGING A DIVISION OF BLOOD HOUND, DATED DECEMBER 30, 2021. PROJECT NUMBER WO 0018435.
- PLAN ORIENTATION IS GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802+AD83. ELEVATIONS DEPICTED HEREON ARE NAVD83, BASED ON DUAL FREQUENCY GPS OBSERVATIONS.
- UTILITY INFORMATION DEPICTED HEREON, UNLESS OTHERWISE NOTED, IS OF QUALITY LEVEL D PER AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) STANDARD C148-02. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS AND/OR DESIGNERS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES WITHIN THE PROJECT AREA PRIOR TO CONSTRUCTION AND/OR EXCAVATION. UNDERGROUND UTILITIES SHOWN HEREON WERE LOCATED BY BLOODHOUND UNDERGROUND UTILITY LOCATORS IN DECEMBER OF 2021. AREAS UNDER DISCOVERY PARK WERE NOT MARKED DURING THIS SCOPE OF SERVICE, SEE PLAN REFERENCE 6B.
- SEE DISCONTINUANCE OF MORSE STREET BY THE TOWN OF FREEPORT RECORDED AT THE CCRD IN BOOK 26325, PAGE 44. A PUBLIC UTILITY EASEMENT REMAINS IN THE FORMER LOCATION OF MORSE STREET.
- THIS SECTION OF CROSS STREET APPEARS TO BE OWNED BY L.L. BEAN BY VIRTUE OF THE FOLLOWING DEEDS: BOOK 12151, PAGE 297; BOOK 11514, PAGE 10; AND 12350, PAGE 316. THE CURRENT LAYOUT AND PLACEMENT OF CROSS STREET IN THIS SECTION WAS ESTABLISHED BY A PLAN TITLED "SITE PLAN - PART ONE OF L.L. BEAN RETAIL STORE EXPANSION, PHASE 1 FOR L.L. BEAN, INC." REVISED THROUGH MARCH 20, 1996 BY SEBAGO TECHNICS, INC. A DEED TO THE TOWN WAS NOT FOUND FOR CROSS STREET, BUT ACCORDING TO A PHONE CALL WITH PUBLIC WORKS, THEY HAVE BEEN MAINTAINING THIS SECTION OF ROADWAY FOR A LONG PERIOD OF TIME. PUBLIC PRESCRIPTIVE RIGHTS MAY EXIST.

LEGEND

- — — — — PROPERTY LINE/R.O.W.
- - - - - ABUTTER LINE/R.O.W.
- MONUMENT
- IRON PIPE/ROD
- — — — — EDGE PAVEMENT
- — — — — EDGE CONCRETE
- — — — — PAVEMENT PAINT
- — — — — EDGE GRAVEL
- — — — — CURB LINE
- ▬ BUILDING
- ▬ DECK/STEPS/OVERHANG
- ▬ CHAIN LINK FENCE
- ▬ STOCKADE FENCE
- ▬ GUARD RAIL



REV.	BY	DATE	STATUS	ISSUED TO CLIENT
A	JIB	02/15/2022		

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SEBAGO TECHNICS
 WWW.SEBAGOTECHNICS.COM
 75 John Roberts Rd.
 Suite 4A
 South Portland, ME 04106
 Tel. 207-200-2100

EXISTING CONDITIONS PLAN
 OF:
 L.L. BEAN RETAIL CAMPUS
 95 MAIN STREET
 FREEPORT, ME
 FOR RECORD OWNER:
 L.L. BEAN, INC.
 15 CASCO STREET
 FREEPORT, ME 04033

DESIGNED	-
DRAWN	RHS/KAH/JMC
CHECKED	TSL/JIB
DATE	01/28/2022
SCALE	1" = 100'
PROJECT	93219-10

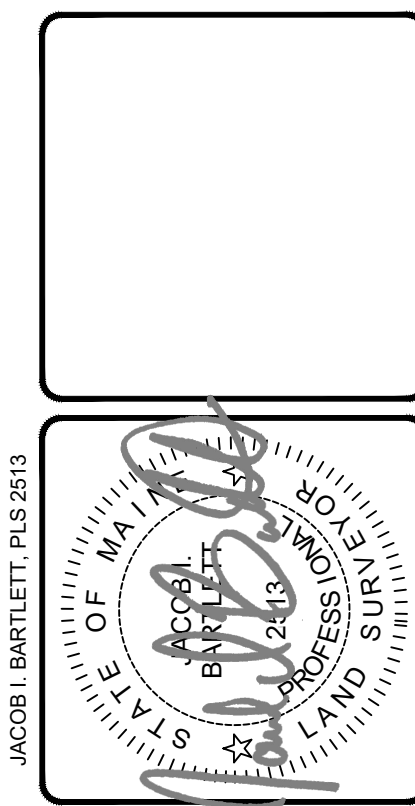


LEGEND

- EXISTING**
- PROPERTY LINE/O.W.
 - ABUTTER LINE/O.W.
 - ⊕ BM-1 BENCHMARK
 - ▭ BUILDING
 - ▭ DECK/STEPS/OVERHANG
 - ▭ EDGE PAVEMENT
 - ▭ EDGE CONCRETE
 - ▭ PAVEMENT PAINT
 - ▭ CURB LINE
 - ▭ CHAIN LINK FENCE
 - ▭ STOCKADE FENCE
 - ▭ STONE WALL
 - ▭ TREELINE
 - 120 --- 118 --- CONTOURS
 - X 120.00 SPOT GRADE
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - SHRUB
 - MULCH LINE
 - BOLLARD
 - SIGN
 - GAS
 - GAS GATE VALVE
 - GAS METER
 - WATER
 - IRRIGATION VALVE
 - WATER GATE VALVE
 - WATER SHUT OFF
 - HYDRANT
 - SANITARY SEWER
 - SANITARY MANHOLE
 - SD STORM DRAIN
 - DRAINAGE MANHOLE
 - CATCH BASIN
 - OHU OVERHEAD UTILITY
 - UGU UNDERGROUND UTILITY
 - TRANSFORMER PAD
 - ELECTRICAL MANHOLE
 - ELECTRIC METER
 - HVAC UNIT
 - TELEPHONE MANHOLE
 - LIGHT POLE
 - UTILITY POLE
 - HAND HOLE BOX
 - GUY WIRE
 - MAILBOX
 - BOULDER

PROPERTY LINE TABLE

LINE	BEARING	DISTANCE
L1	S 20°16'32" W	6.14'
L2	S 56°02'55" W	20.92'
L3	S 52°20'20" W	20.19'
L4	N 43°48'13" W	15.17'
L5	N 33°27'12" E	6.94'
L6	S 20°16'35" W	33.25'



REV.	BY	DATE	STATUS	ISSUED TO CLIENT
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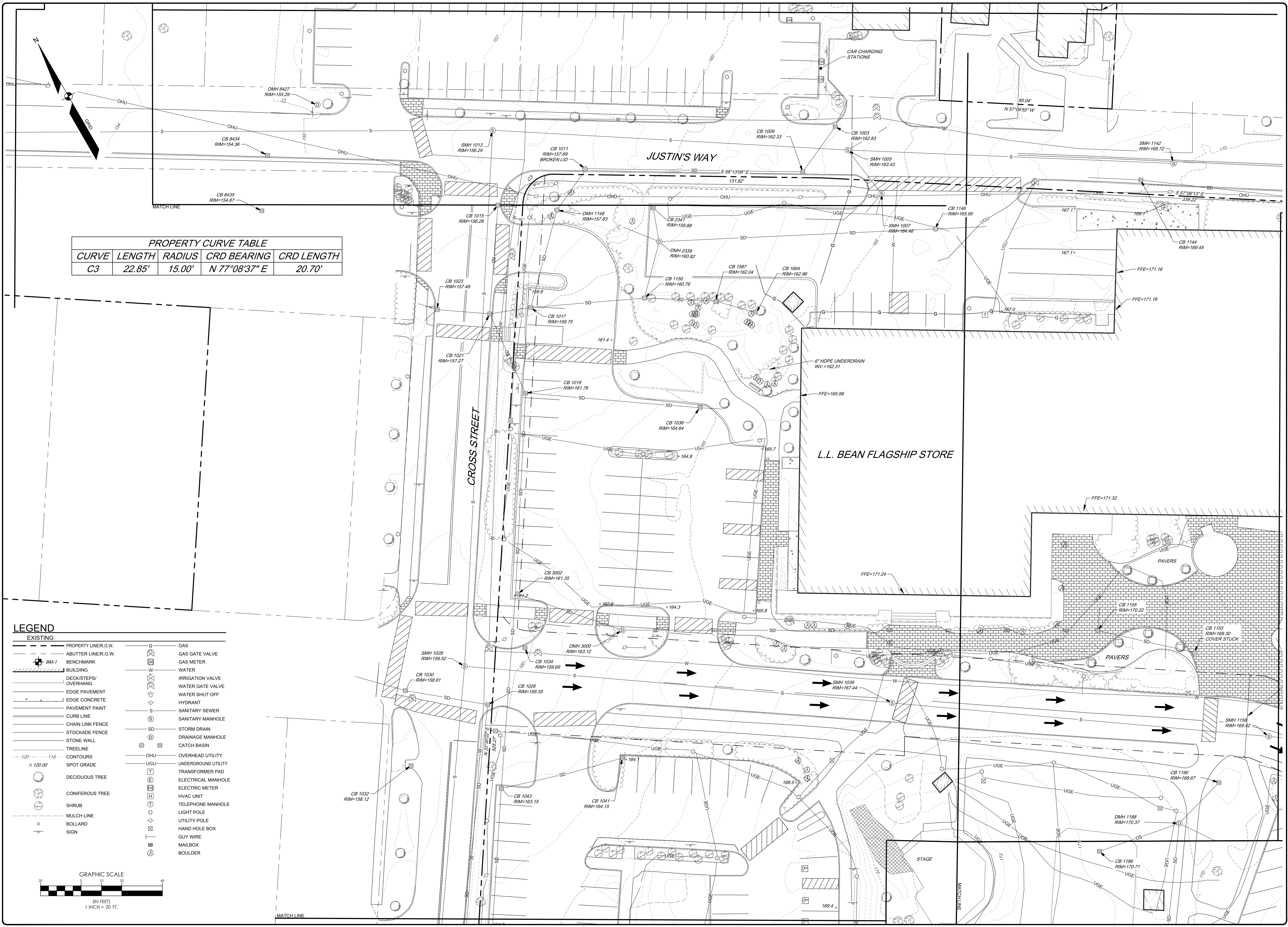
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TECHNIQS
75 John Roberts Rd.
Sullivan, IA
South Portland, ME 04106
Tel. 207-200-2100
WWW.SEBAGOTECHNIQS.COM

TOPOGRAPHIC SURVEY PLAN
OF:
L.L. BEAN RETAIL CAMPUS
95 MAIN STREET
FREEPORT, ME
FOR RECORD OWNER:
L.L. BEAN, INC.
15 CASCO STREET
FREEPORT, ME 04033

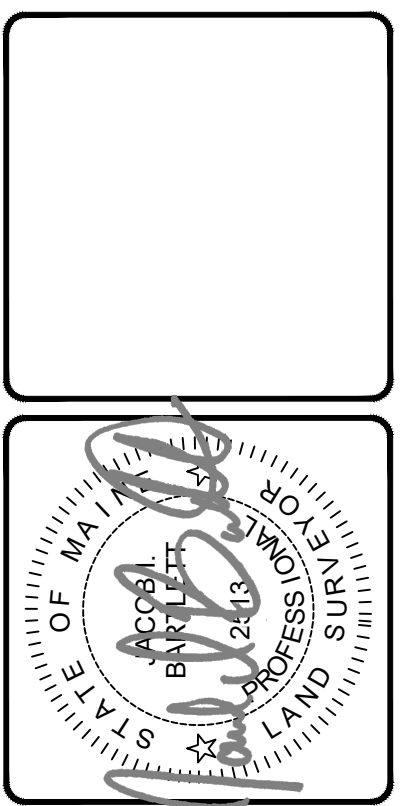
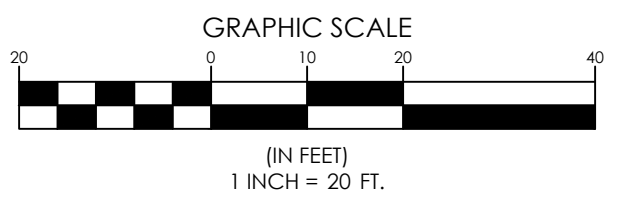
DESIGNED	-
DRAWN	RHS/KAH
CHECKED	TSU/JIB
DATE	01/28/2022
SCALE	1" = 20'
PROJECT	93219-10

SHEET 2 OF 7



PROPERTY CURVE TABLE				
CURVE	LENGTH	RADIUS	CRD BEARING	CRD LENGTH
C3	22.85'	15.00'	N 77°08'37" E	20.70'

EXISTING		GAS	
PROPERTY LINE/R.O.W.	—	GAS	—
ABUTTER LINE/R.O.W.	—	GAS GATE VALVE	—
BENCHMARK	BM-1	GAS METER	—
BUILDING	—	WATER	—
DECK/STEPS/OVERHANG	—	IRRIGATION VALVE	—
EDGE PAVEMENT	—	WATER GATE VALVE	—
EDGE CONCRETE	—	WATER SHUT OFF	—
PAVEMENT PAINT	—	HYDRANT	—
CURB LINE	—	SANITARY SEWER	—
CHAIN LINK FENCE	—	SANITARY MANHOLE	—
STOCKADE FENCE	—	STORM DRAIN	—
STONE WALL	—	DRAINAGE MANHOLE	—
TREELINE	—	CATCH BASIN	—
CONTOURS	—	O.H.U.	—
SPOT GRADE	—	UNDERGROUND UTILITY	—
DECIDUOUS TREE	—	TRANSFORMER PAD	—
CONIFEROUS TREE	—	ELECTRICAL MANHOLE	—
SHRUB	—	ELECTRIC METER	—
MULCH LINE	—	HVAC UNIT	—
BOLLARD	—	TELEPHONE MANHOLE	—
SIGN	—	LIGHT POLE	—
		UTILITY POLE	—
		HAND HOLE BOX	—
		GUY WIRE	—
		MAILBOX	—
		BOULDER	—



REV.	BY	DATE	STATUS	ISSUED TO CLIENT
A	JIB	02/15/2022		

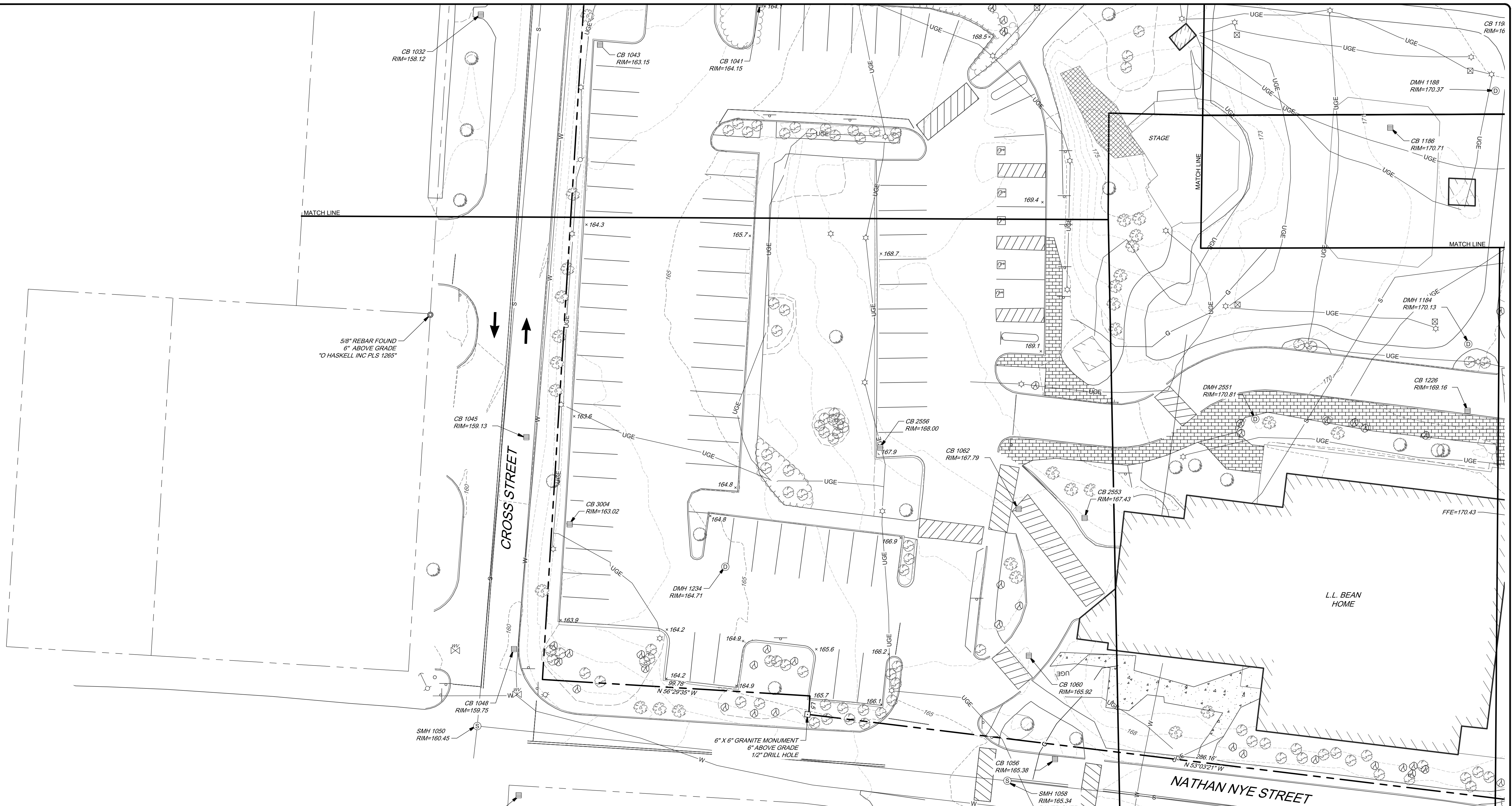
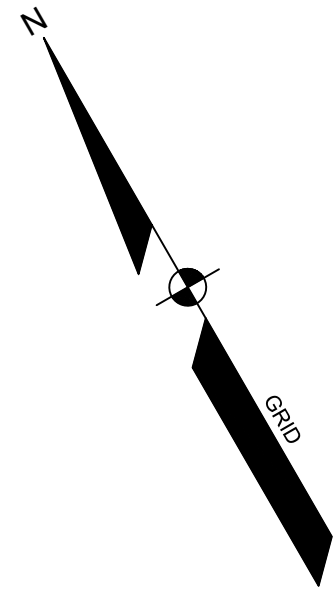
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15 CASCO STREET
FREEPORT, ME 04033

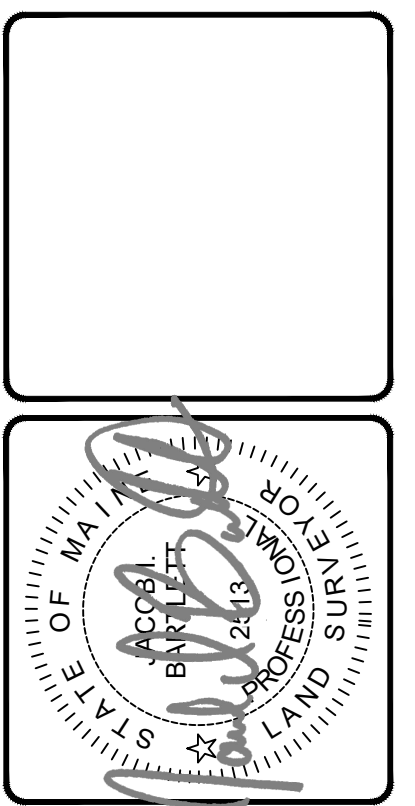
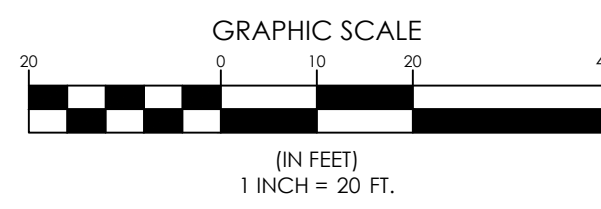
DESIGNED	
DRAWN	RHS/KAH
CHECKED	TSL/JIB
DATE	01/28/2022
SCALE	1" = 20'
PROJECT	93219-10

SHEET 3 OF 7



LEGEND

EXISTING	
	PROPERTY LINE/R.O.W.
	ABUTTER LINE/R.O.W.
	BENCHMARK
	BUILDING
	DECK/STEPS/ OVERHANG
	EDGE PAVEMENT
	EDGE CONCRETE
	PAVEMENT PAINT
	CURB LINE
	CHAIN LINK FENCE
	STOCKADE FENCE
	STONE WALL
	TREELINE
	CONTOURS
	SPOT GRADE
	DECIDUOUS TREE
	CONIFEROUS TREE
	SHRUB
	MULCH LINE
	BOLLARD
	SIGN
	GAS
	GAS GATE VALVE
	GAS METER
	WATER
	IRRIGATION VALVE
	WATER GATE VALVE
	WATER SHUT OFF
	HYDRANT
	SANITARY SEWER
	SANITARY MANHOLE
	STORM DRAIN
	DRAINAGE MANHOLE
	CATCH BASIN
	OVERHEAD UTILITY
	UNDERGROUND UTILITY
	TRANSFORMER PAD
	ELECTRICAL MANHOLE
	ELECTRIC METER
	HVAC UNIT
	TELEPHONE MANHOLE
	LIGHT POLE
	UTILITY POLE
	HAND HOLE BOX
	GUY WIRE
	MAILBOX
	BOULDER



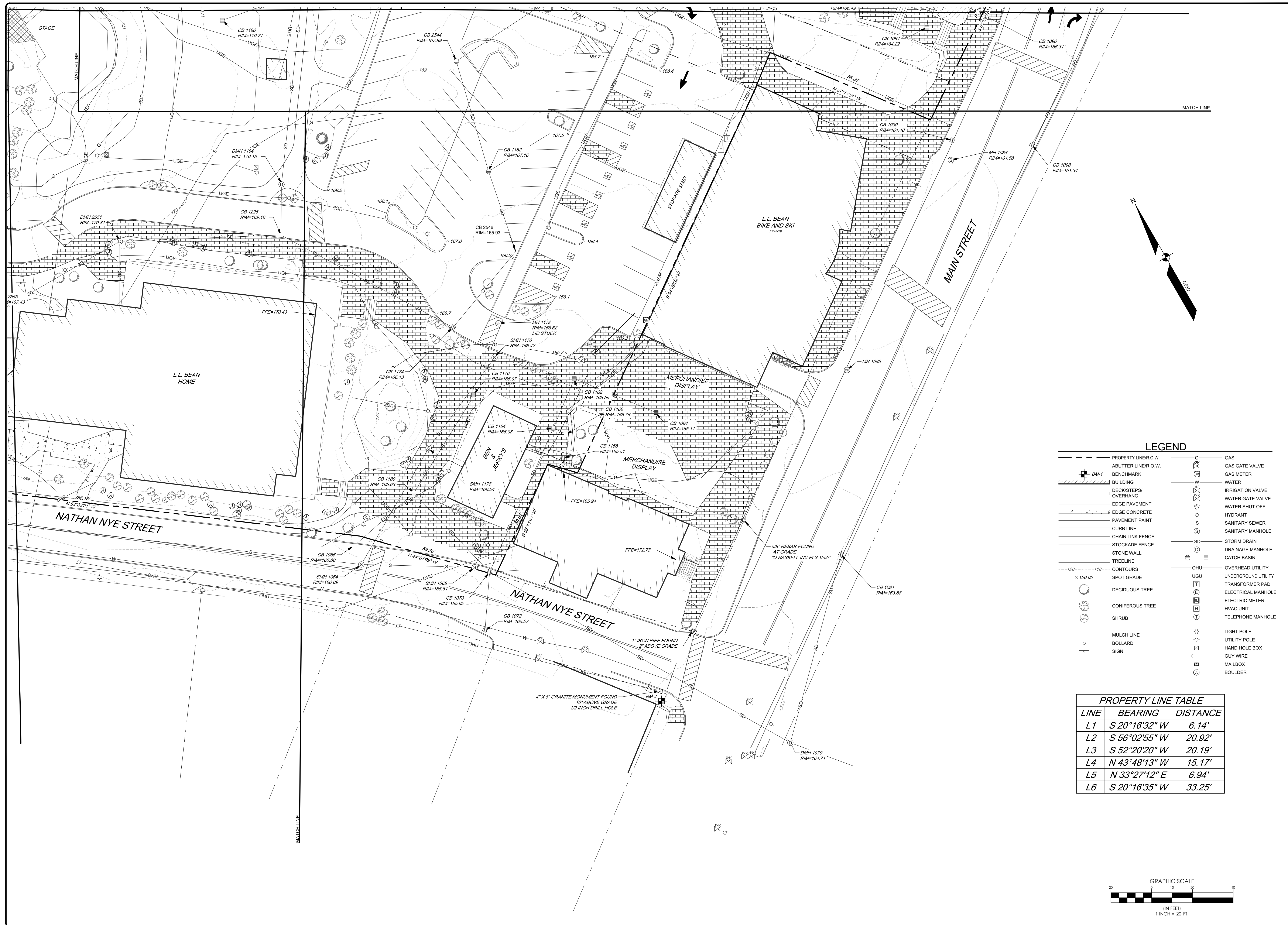
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FOR RECORD OWNER:
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15 CASCO STREET
FREEPORT, ME 04103

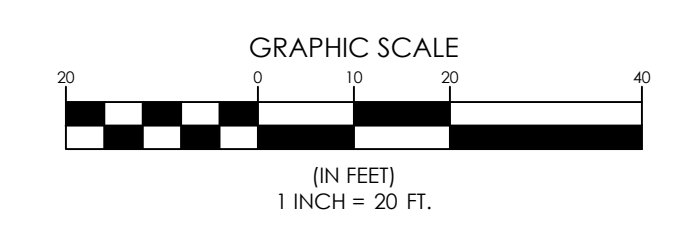
DESIGNED	-
DRAWN	RHS/KAH
CHECKED	TSL/JIB
DATE	01/28/2022
SCALE	1" = 20'
PROJECT	93219-10



LEGEND

---	PROPERTY LINE/O.W.	⊕	GAS
- - -	ABUTTER LINE/O.W.	⊕	GAS GATE VALVE
⊕	BENCHMARK	⊕	GAS METER
▭	BUILDING	W	WATER
▭	DECK/STEPS/ OVERHANGS	⊕	IRRIGATION VALVE
▭	EDGE PAVEMENT	⊕	WATER GATE VALVE
▭	EDGE CONCRETE	⊕	WATER SHUT OFF
▭	PAVEMENT PAINT	⊕	HYDRANT
▭	CURB LINE	S	SANITARY SEWER
▭	CHAIN LINK FENCE	⊕	SANITARY MANHOLE
▭	STOCKADE FENCE	SD	STORM DRAIN
▭	STONE WALL	⊕	DRAINAGE MANHOLE
▭	TREELINE	⊕	CATCH BASIN
---	CONTOURS	OHU	OVERHEAD UTILITY
× 120.00	SPOT GRADE	UGU	UNDERGROUND UTILITY
⊕	DECIDUOUS TREE	⊕	TRANSFORMER PAD
⊕	CONIFEROUS TREE	⊕	ELECTRIC MANHOLE
⊕	SHRUB	⊕	ELECTRIC METER
⊕	MULCH LINE	⊕	HVAC UNIT
⊕	BOLLARD	⊕	TELEPHONE MANHOLE
⊕	SIGN	⊕	LIGHT POLE
		⊕	UTILITY POLE
		⊕	HAND HOLE BOX
		⊕	GUY WIRE
		⊕	MAILBOX
		⊕	BOULDER

LINE	BEARING	DISTANCE
L1	S 20°16'32" W	6.14'
L2	S 56°02'55" W	20.92'
L3	S 52°20'20" W	20.19'
L4	N 43°48'13" W	15.17'
L5	N 33°27'12" E	6.94'
L6	S 20°16'35" W	33.25'



JACOBI & BARTLETT, P.L.S 2613

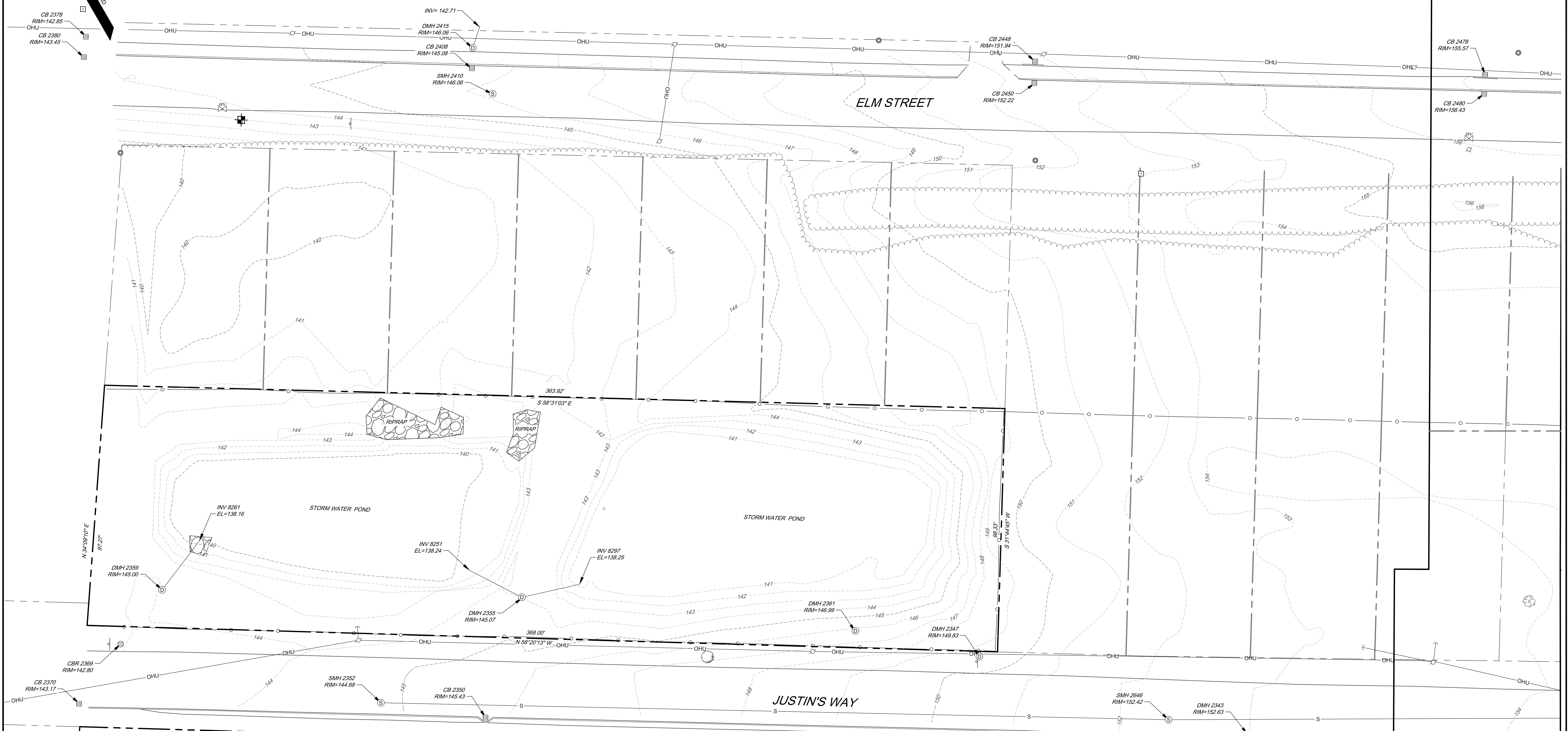
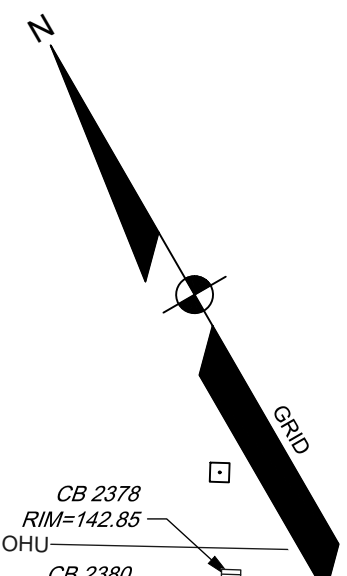
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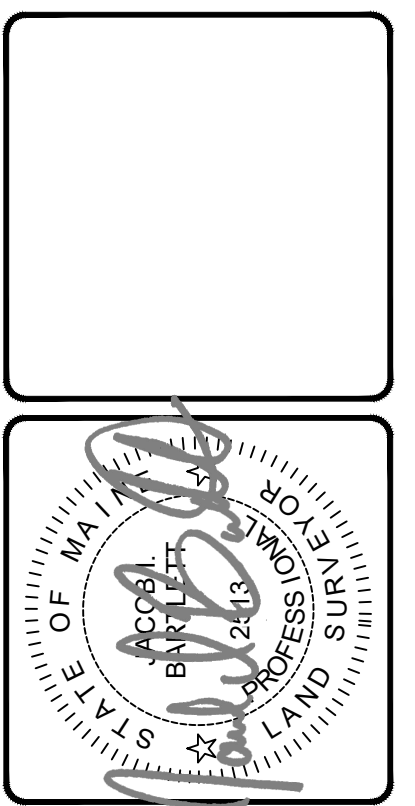
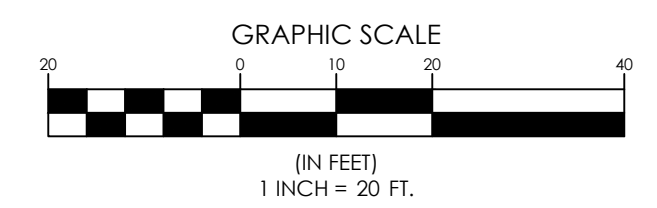
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 FOR RECORD OWNER:
L.L. BEAN, INC.
 15 CASCO STREET
 FREEPORT, ME 04033

DESIGNED	-
DRAWN	RHS/KAH
CHECKED	TSL/JIB
DATE	01/28/2022
SCALE	1" = 20'
PROJECT	93219-10

SHEET 5 OF 7



LEGEND			
—	PROPERTY LINE/O.W.	—	GAS
—	ASUTTER LINE/O.W.	—	GAS GATE VALVE
+	BENCHMARK	—	GAS METER
▭	BUILDING	—	WATER
—	DECK/STEPS/	—	IRRIGATION VALVE
—	OVERHANG	—	WATER GATE VALVE
—	EDGE PAVEMENT	—	WATER SHUT OFF
—	EDGE CONCRETE	—	HYDRANT
—	PAVEMENT PAINT	—	SANITARY SEWER
—	CURB LINE	—	SANITARY MANHOLE
—	CHAIN LINK FENCE	—	STORM DRAIN
—	STOCKADE FENCE	—	DRAINAGE MANHOLE
—	STONE WALL	—	CATCH BASIN
—	TREELINE	—	OHU
—	CONTOURS	—	OVERHEAD UTILITY
—	SPOT GRADE	—	UGU
—	DECIDUOUS TREE	—	UNDERGROUND UTILITY
—	CONIFEROUS TREE	—	TRANSFORMER PAD
—	SHRUB	—	ELECTRICAL MANHOLE
—	MULCH LINE	—	ELECTRIC METER
—	BOLLARD	—	HVAC UNIT
—	SIGN	—	TELEPHONE MANHOLE
—		—	LIGHT POLE
—		—	UTILITY POLE
—		—	HAND HOLE BOX
—		—	GUY WIRE



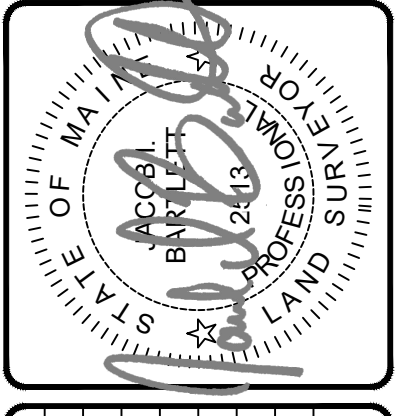
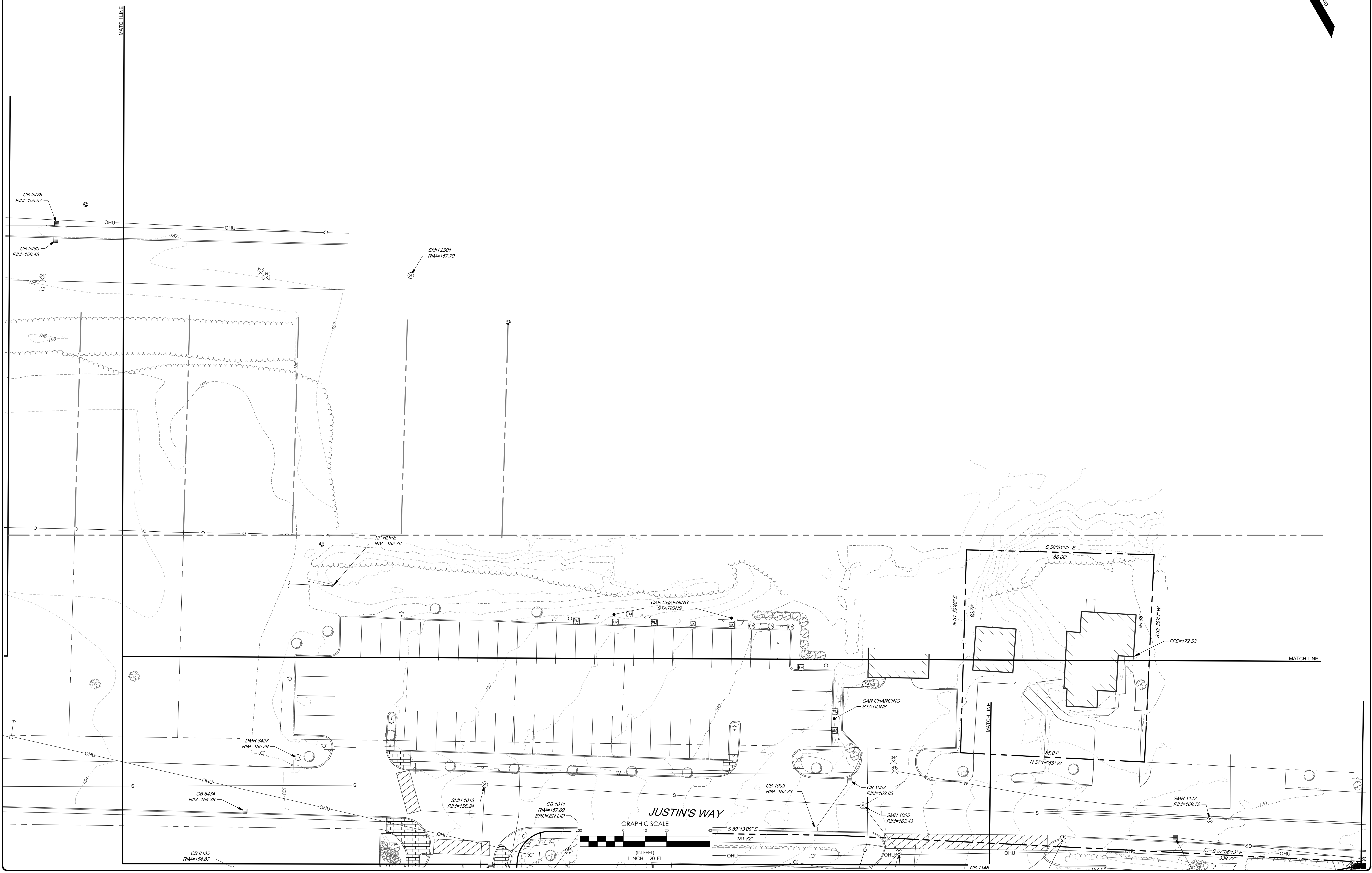
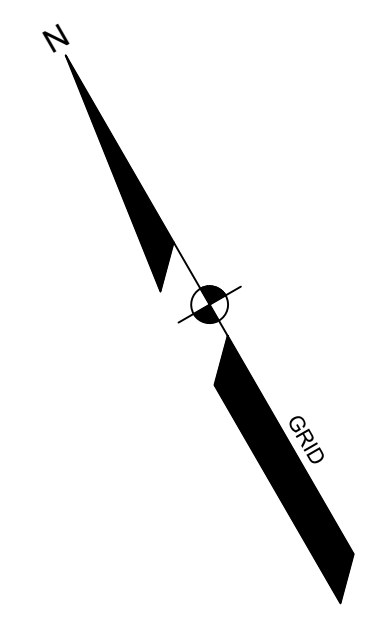
JIB	02/15/2022	ISSUED TO CLIENT
REV.	BY	DATE
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L.L. BEAN RETAIL CAMPUS
95 MAIN STREET
FREEPORT, ME
FOR RECORD OWNER:
L.L. BEAN, INC.
15 CASCO STREET
FREEPORT, ME 04033

DESIGNED	-
DRAWN	RHS/KAH
CHECKED	TSJ/JIB
DATE	01/28/2022
SCALE	1" = 20'
PROJECT	93219-10

PROPERTY CURVE TABLE				
CURVE	LENGTH	RADIUS	CRD BEARING	CRD LENGTH
C3	22.85'	15.00'	N 77°08'37" E	20.70'



REV.	BY	DATE	STATUS	ISSUED TO CLIENT
A	JIB	02/15/2022		

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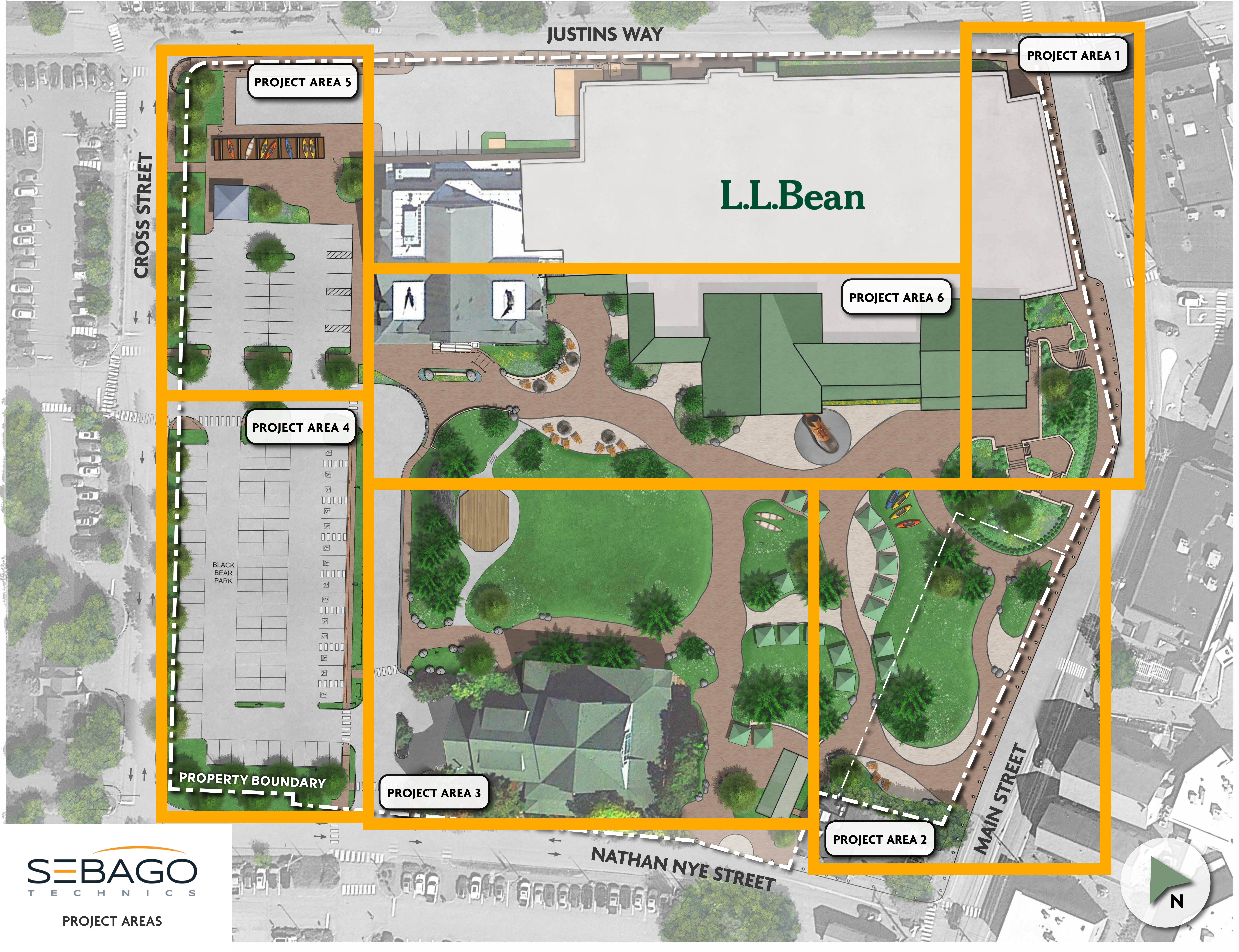
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95 MAIN STREET
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15 CASCO STREET
FREEPORT, ME 04033

DESIGNED	-
DRAWN	RHS/KAH
CHECKED	TSL/JIB
DATE	01/28/2022
SCALE	1" = 20'
PROJECT	93219-10

POINT #	STRUCTURE TYPE	RIM EL.	INV.	INV. EL.	SIZE	TYPE	LOCATION (N=12)	COMMENTS
1003	CB	162.83	OUT	154.84	12	HDPE	10	
			IN	154.85	12	HDPE	2	
			SUMP	152.83				HEAVY SILT
1005	SMH	163.48	IN	157.35	6	PVC	3	
			IN	157.02	8	OTHER/COMMENTS	5	
			IN	157.23	8	PVC	6	
			IN	159.72	8	RCP	5	
			OUT	156.77	10	STEEL	11	
			SHELF	157.33				
1007	SMH	164.49	IN	157.44	6	PVC	8	
			IN	157.48	0	NONE	7	NO PIPE REFERENCE PICTURE
			OUT	157.33	6	PVC	12	
			SHELF	157.92				
1009	CB	162.29	IN	154.48	12	HDPE	3	
			OUT	154.54	12	HDPE	11	
			SUMP	152.58				
1013	SMH	156.23	IN	148.75	8	PVC	4	
			OUT	148.12	8	PVC	10	
			SHELF	148.80				
1015	CB	156.25	OUT	153.40	12	HDPE	8	
			SUMP	151.20				
1017	CB	159.73	IN	152.70	12	HDPE	1	FROM CB1148
			IN	153.18	15	HDPE	4	
			OUT	152.60	15	HDPE	10	TO CB1021
			SUMP	151.29				
1019	CB	161.77	IN	154.88	24	HDPE	8	FROM CB3002
			IN	156.40	12	HDPE	5	FROM CB1036
			OUT	154.68	24	HDPE	1	TO CB1021
			SUMP	152.92				
1021	CB	157.28	IN	152.89	12	HDPE	2	FROM CB1015
			IN	152.33	24	HDPE	7	FROM CB1019
			OUT	152.33	24	HDPE	11	TO CB1023
			SUMP	149.27				
			IN	152.53	15	HDPE	4	
1023	CB	157.42	IN	152.81	12	HDPE	9	
			IN	151.32	24	HDPE	5	FROM CB1021
			OUT	151.28	24	HDPE	11	
			SUMP	148.90				HEAVY SILT
1025	CB	159.33	IN	156.35	12	HDPE	7	FROM CB1045
			OUT	156.25	12	HDPE	11	TO CB1030
			SUMP	154.21				
1028	SMH	159.50	IN	154.09	10	PVC7	4	
			IN	153.89	8	PVC7	2	
			IN	153.22	8	PVC7	7	
			OUT	153.27	10	PVC7	10	
			SHELF	153.76				
1030	CB	158.90	IN	156.41	12	HDPE	5	FROM CB1028
			OUT	156.01	12	PVC	11	
			SUMP	153.07				
1032	CB	158.14	OUT	153.77	12	HDPE	9	
			SUMP	151.96				
1034	CB	159.70	OUT	158.73	8	PVC	11	
			SUMP	156.59				
1036	CB	164.64	IN	160.26	12	HDPE	5	
			OUT	160.06	12	HDPE	11	TO CB1019
			SUMP	158.16				
1039	SMH	167.48	IN	162.18	8	PVC7	5	
			OUT	161.96	10	PVC7	10	
			SHELF	162.54				
1043	CB	163.17	IN	157.50	12	HDPE	4	
			IN	157.23	18	HDPE	8	FROM 3004
			OUT	156.71	24	RCP	2	TO CB3002
			SUMP	154.50				
1045	CB	159.10	IN	157.08	12	HDPE	8	FROM CB1048
			OUT	156.92	12	HDPE	2	
			SUMP	155.01				
1048	CB	159.74	IN	157.45	12	HDPE	8	FROM CB1052
			OUT	157.35	12	HDPE	2	TO CB1045
			SUMP	155.31				
1050	SMH	160.45	IN	155.47	10	PVC7	5	
			IN	155.53	10	PVC7	7	
			OUT	155.44	10	PVC7	1	
			SHELF	155.95				
1052	CB	160.58	OUT	157.63	12	HDPE	2	TO CB1048
			SUMP	155.46				
1054	CB	162.89	OUT	159.30	18	RCP	1	TO DMH1234
			SUMP	157.34				
1056	CB	165.31	OUT	160.89	12	HDPE	2	TO CB1060
			SUMP	158.99				
1060	CB	165.92	IN	158.99	12	HDPE	7	FROM CB1056
			IN	158.90	18	HDPE	5	
			IN	160.06	6	PVC	3	
			IN	159.29	12	HDPE	2	
			OUT	158.78	18	HDPE	11	TO DMH1234
			SUMP	157.22				
1062	CB	167.79	IN	162.73	12	HDPE	5	
			OUT	162.73	12	HDPE	11	
			SUMP	160.53				HEAVY SILT
1064	SMH	166.07	IN	161.05	8	PVC	5	FROM SMH1068
			IN	160.74	8	PVC	2	
			OUT	160.74	10	PVC	10	
			SHELF	161.19				
1066	CB	165.72	OUT	162.88	12	HDPE	3	TO CB1180
			SUMP	160.44				
1068	SMH	165.80	IN	161.50	8	UNK	3	CLOGGED
			IN	161.24	6	PVC	1	
			OUT	161.16	8	PVC	10	TO SMH1064
			SHELF	161.51				
1070	CB	165.63	IN	161.78	12	HDPE	1	FROM CB1180
			IN	162.12	18	HDPE	3	FROM CB1164
			IN	181.00	6	PVC	4	
			OUT	160.57	18	PVC	6	
			SUMP	160.47				
			IN	162.12	12	PVC	9	FROM CB1072
1072	CB	165.25	OUT	162.87	12	PVC	3	TO CB1070
			SUMP	161.11				
1084	CB	165.09	IN	162.97	8	PVC	5	
			OUT	162.97	12	HDPE	1	TO CB1162
			SUMP	160.63				
1092	DMH	161.32	IN	157.98	8	PVC	11	FROM CB1096
			OUT	157.88	12	RCP	2	TO DMH1113
			SUMP	160.67				FILLED W/ DEBRIS
1094	CB	164.24	IN	160.67	4	HDPE	8	
			OUT	160.67	8	PVC	2	TO CB1096
			SUMP	159.66				
1096	CB	166.33	IN	160.56	8	PVC	10	FROM CB1209
			IN	160.66	8	PVC	8	FROM CB1094
			OUT	160.46	8	PVC	5	TO DMH1092
			SUMP	160.17				

POINT #	STRUCTURE TYPE	RIM EL.	INV.	INV. EL.	SIZE	TYPE	LOCATION (N=12)	COMMENTS
1109	CB	164.83	IN	160.20	8	PVC	10	FROM CB1195
			IN	159.95	8	PVC	7	FROM CB1111
			OUT	159.85	8	PVC	5	TO DMH1119
			SUMP	160.38				
1111	CB	163.31	OUT	160.47	8	PVC	2	TO CB1109
			SUMP	159.76				HEAVY SILT
1113	DMH	160.63	IN	157.23	12	RCP	8	FROM DMH1092
			IN	158.18	8	STEEL	6	
			IN	158.23	8	STEEL	7	
			OUT	157.20	12	CMP	1	
			SUMP	157.03				FILLED W/ DEBRIS
1117	DMH	160.86	IN	158.36	8	STEEL	11	
			OUT	158.26	8	STEEL	4	
			SHELF	158.72				
1119	DMH	160.82	IN	156.91	8	PVC	11	FROM CB1109
			IN	157.06	8	PVC	1	FROM CB1121
			IN	157.10	15	RCP	2	FROM CB1135
			IN	156.69	12	CMP	7	
			SUMP	155.31				
			OUT	156.21	12	UNK	6	
1121	CB	160.86	OUT	157.07	8	PVC	7	
			SUMP					FILLED W/ DEBRIS
1123	DMH	160.81	OUT	156.68	8	OTHER/COMMENTS	4	UNKNOWN
			SUMP					FILLED W/ DEBRIS
1125	SMH	160.77	IN	157.71	8	OTHER/COMMENTS	11	UNKNOWN
			IN	156.33	8	OTHER/COMMENTS	11	UNKNOWN
			OUT	156.30	8	OTHER/COMMENTS	6	UNKNOWN
			SHELF	156.81				
1127	CB	160.30	IN	157.81	15	RCP	3	FROM DMH1131
			OUT	157.76	15	RCP	9	TO CB1135
			SUMP	156.19				
1131	DMH	160.38	OUT	158.20	15	RCP	9	TO CB1127
			SUMP	156.15				
1135	CB	160.17	IN	157.50	15	RCP	3	FROM CB1127
			OUT	157.45	15	RCP	9	TO DMH1119
			SUMP	155.96				
1138	CB	169.94	IN	165.23	10	PVC	1	
			OUT	165.13	12	STEEL	8	
			SUMP	163.28				HEAVY SILT
1142	SMH	169.74	OUT	164.44	8	PVC7	11	
			SHELF	164.77				
1144	CB	169.41	IN	165.97	10	PVC	11	
			OUT	165.82	10	PVC	4	
			SUMP	165.46				
1146	CBR	165.96	IN	162.19	6	PVC	5	
			OUT	160.65	12	HDPE	11	
			SUMP	159.23				



JUSTINS WAY

PROJECT AREA 1

PROJECT AREA 5

L.L.Bean

CROSS STREET

PROJECT AREA 6

PROJECT AREA 4

BLACK BEAR PARK

PROPERTY BOUNDARY

PROJECT AREA 3

PROJECT AREA 2

MAIN STREET

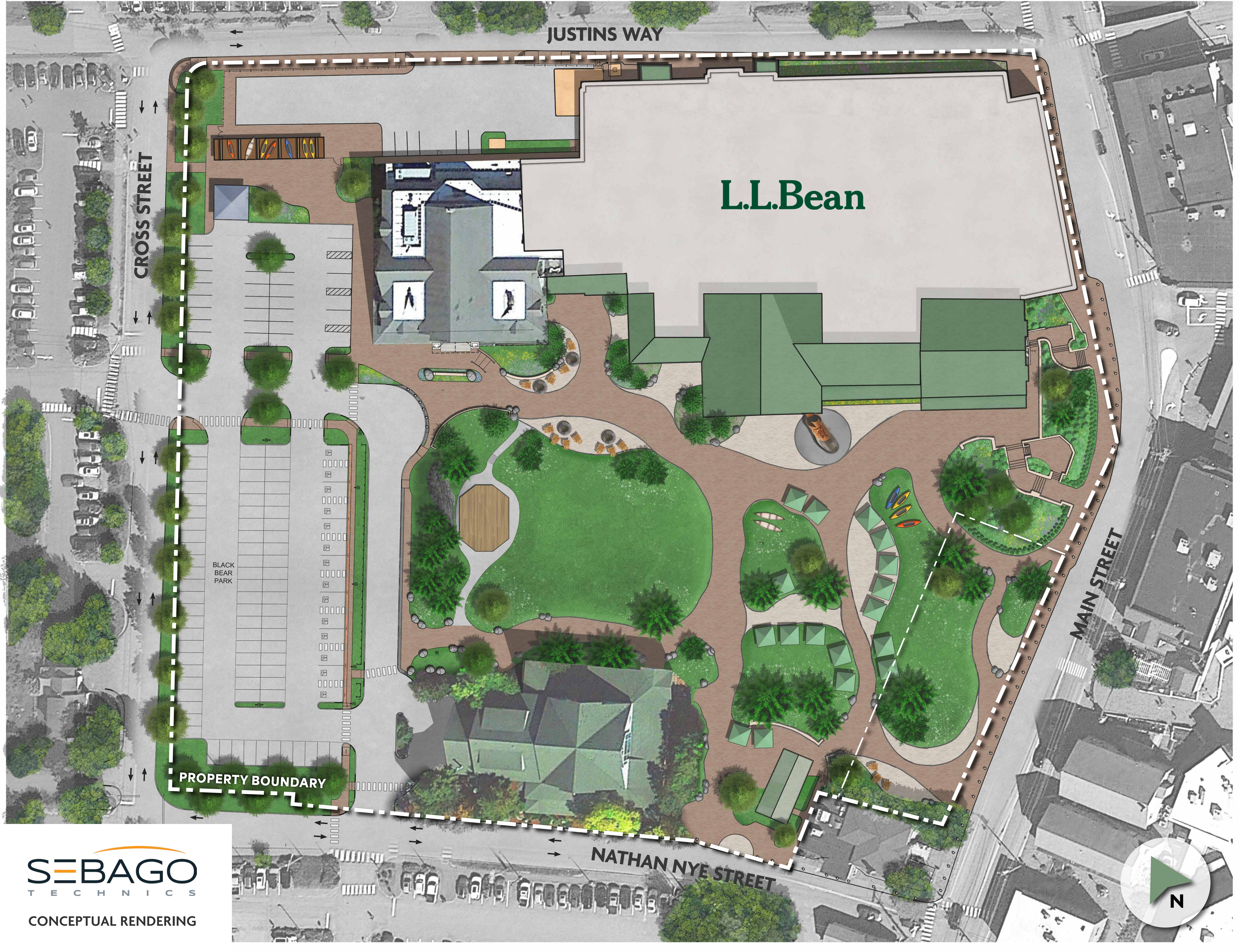
NATHAN NYE STREET

SEBAGO
TECHNICS

PROJECT AREAS







L.L.Bean

CROSS STREET

JUSTINS WAY

MAIN STREET

NATHAN NYE STREET

PROPERTY BOUNDARY

BLACK BEAR PARK



L.L.Bean

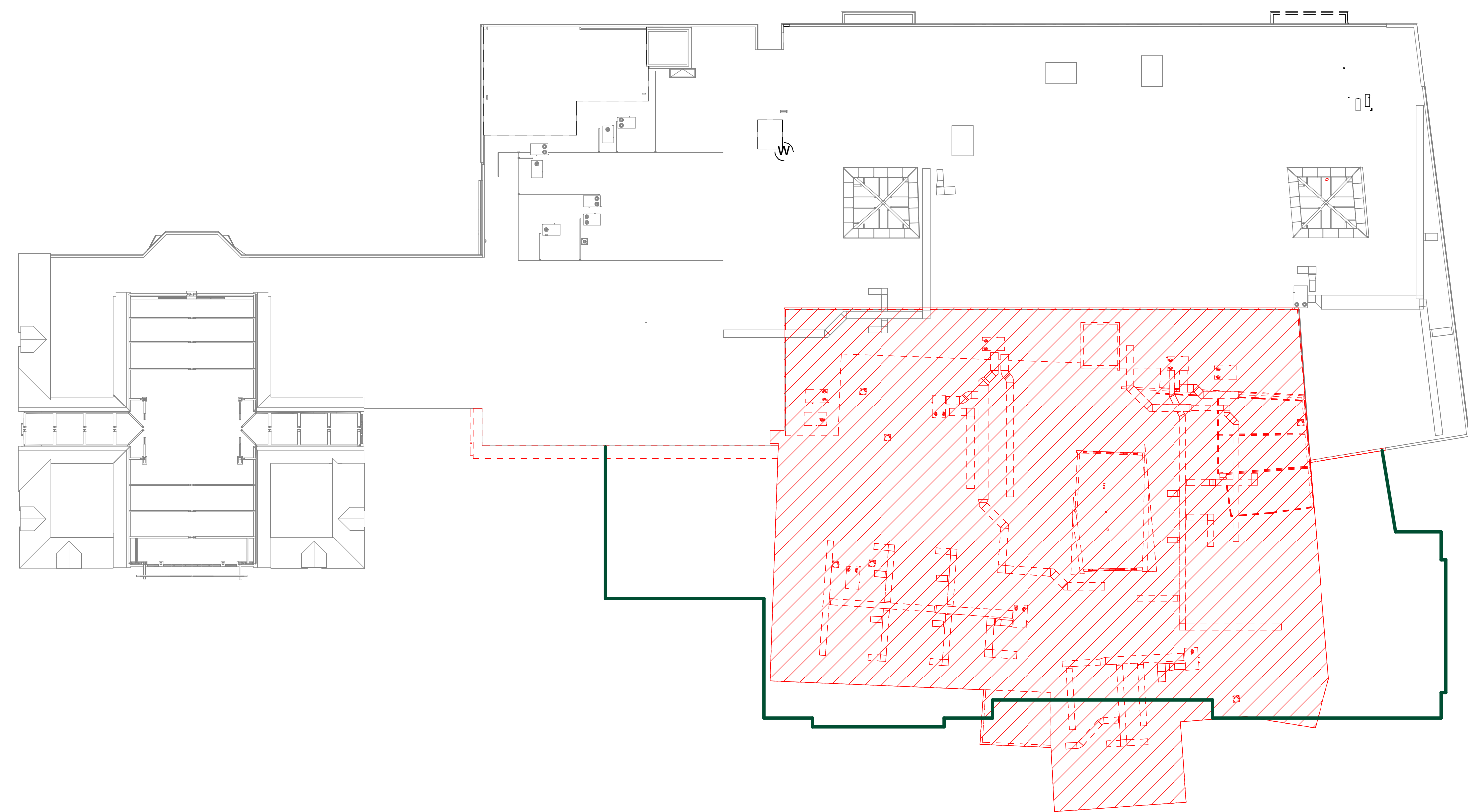


CONCEPTUAL 3D MODEL

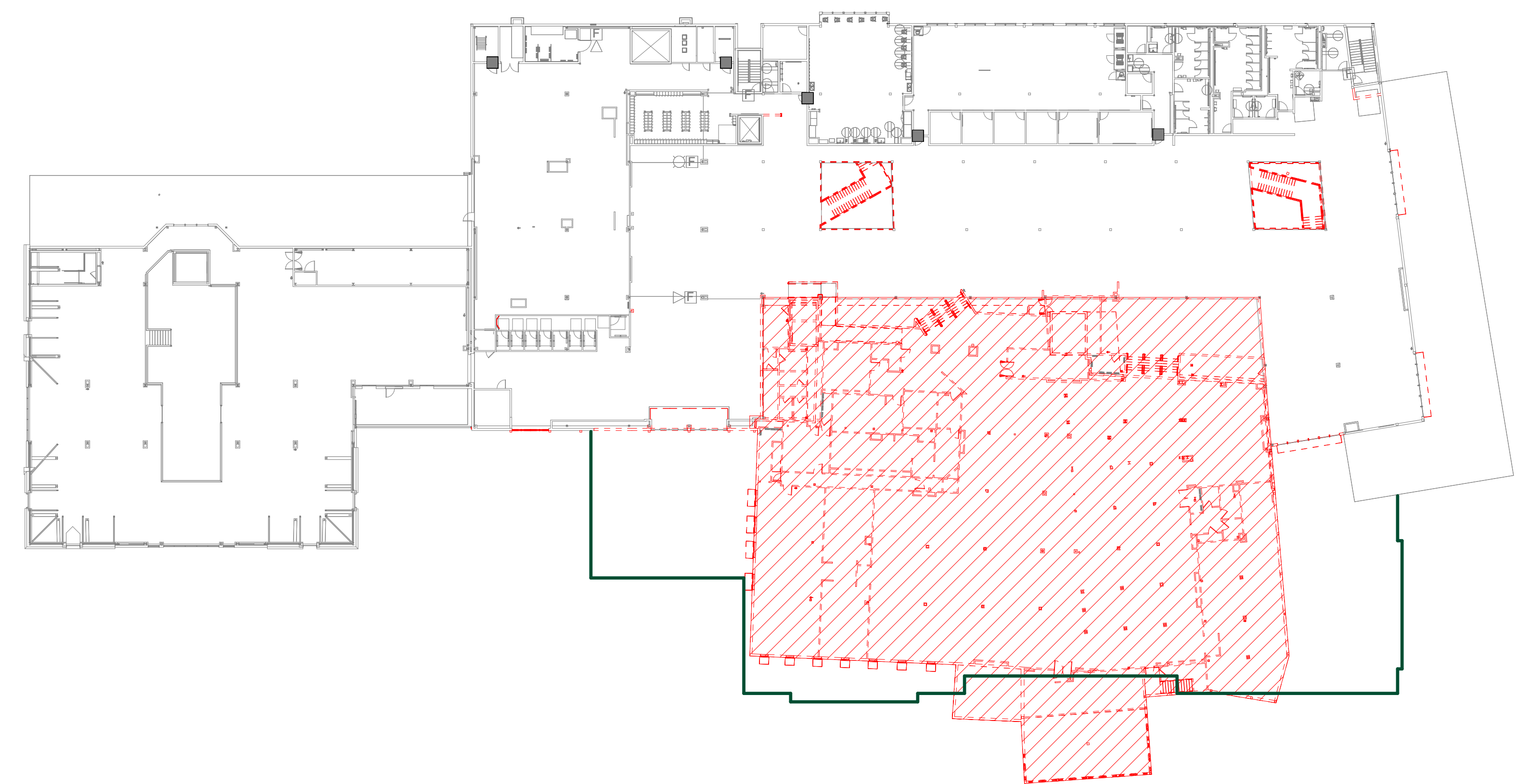
SEBAGO
TECHNICS

ARROWSTREET
ARCHITECTURE & DESIGN

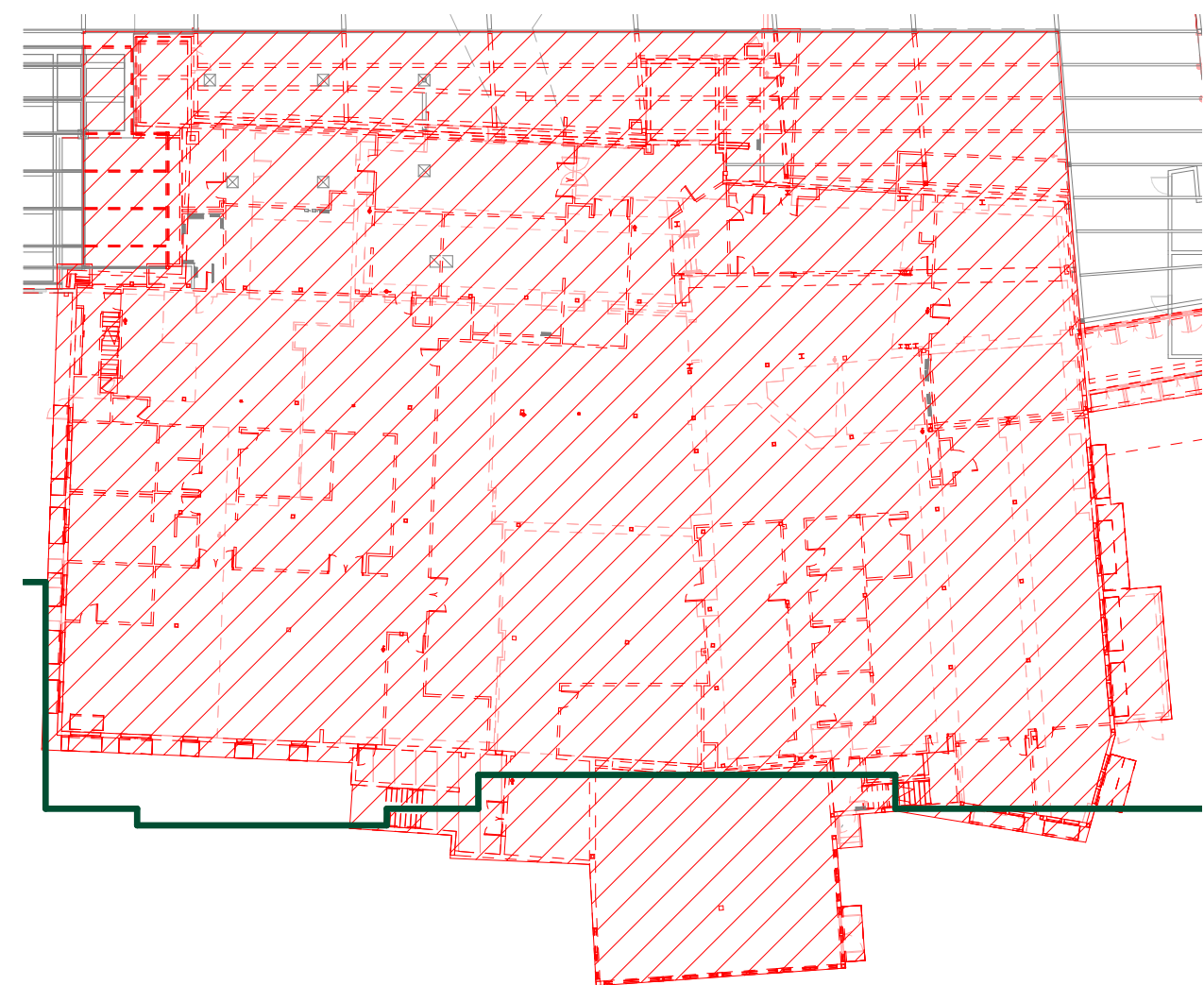
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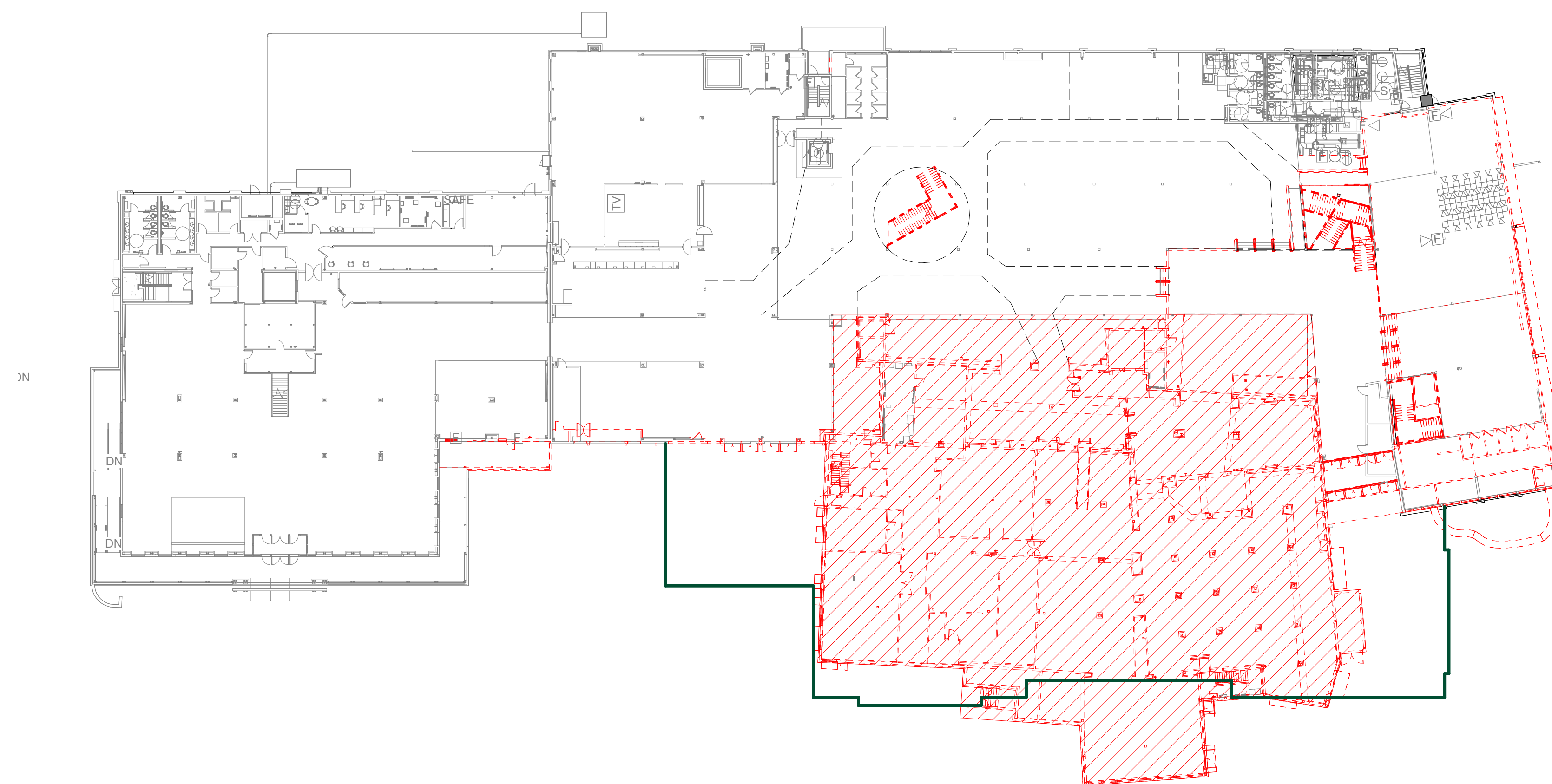
5 ROOF REMOVALS PLAN
1/32" = 1'-0"



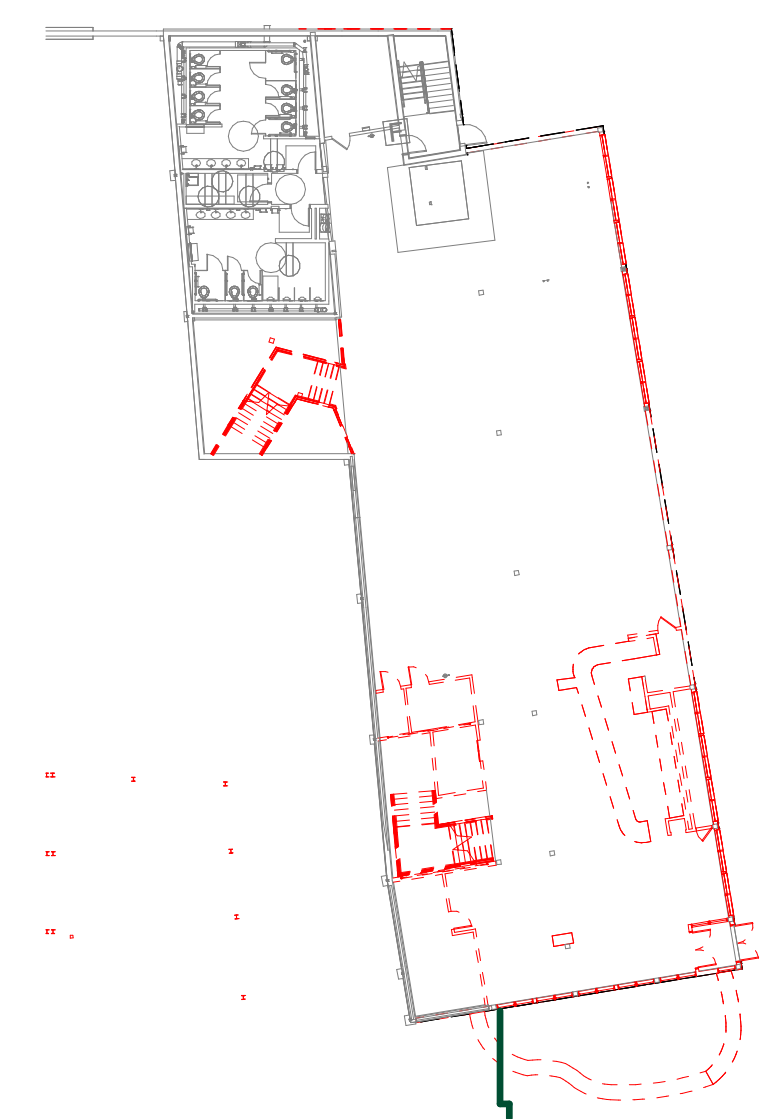
3 SECOND FLOOR REMOVALS PLAN
1/32" = 1'-0"



4 SANDWICH FLOOR REMOVALS PLAN
1/32" = 1'-0"

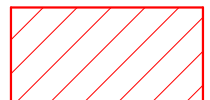




2 FIRST FLOOR REMOVALS PLAN
1/32" = 1'-0"



1 GROUND FLOOR REMOVALS PLAN
1/32" = 1'-0"

REMOVALS PLAN LEGEND

-  1940s BUILDING BEING REMOVED
-  PHASE 3 REMOVALS
-  EXTENT OF NEW ADDITION