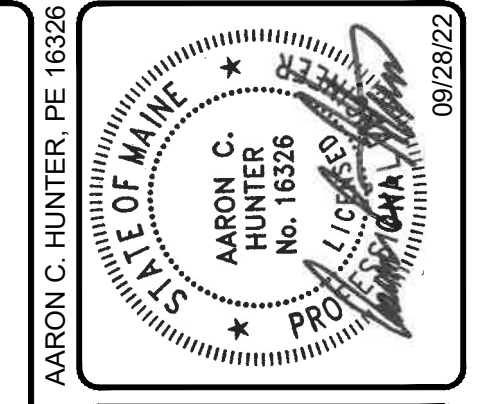


- SITE PLAN KEY NOTES:**
- 1 VEHICULAR PAVING - SEE TYPICAL PAVEMENT SECTION DETAIL
 - 2 SURFORM CONCRETE CURB
 - 3 ASPHALT SIDEWALK
 - 4 ADA SIGN MOUNTED ON BOLLARD
 - 5 ADA BLUE PAINTED INTERNATIONAL SYMBOL
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 - 9 CURB TIP DOWN, TYPICAL
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 - 18 DOG PARK FENCING
 - 19 (2) 3' FOOT GATES
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 - COLOR: FIELD GREEN / OLIVE GREEN
 - YARN TYPE: MONOFILAMENT
 - PILE HEIGHT: 58 INCH
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 - 21 CONCRETE PORCH, TYP.
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 - 32 JUNCTION BOX

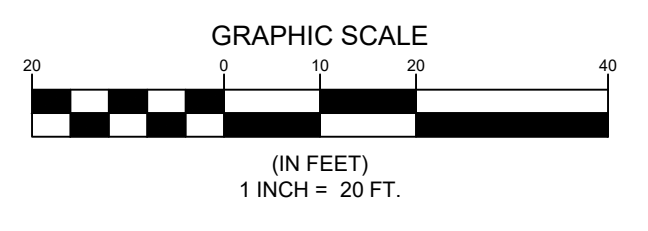


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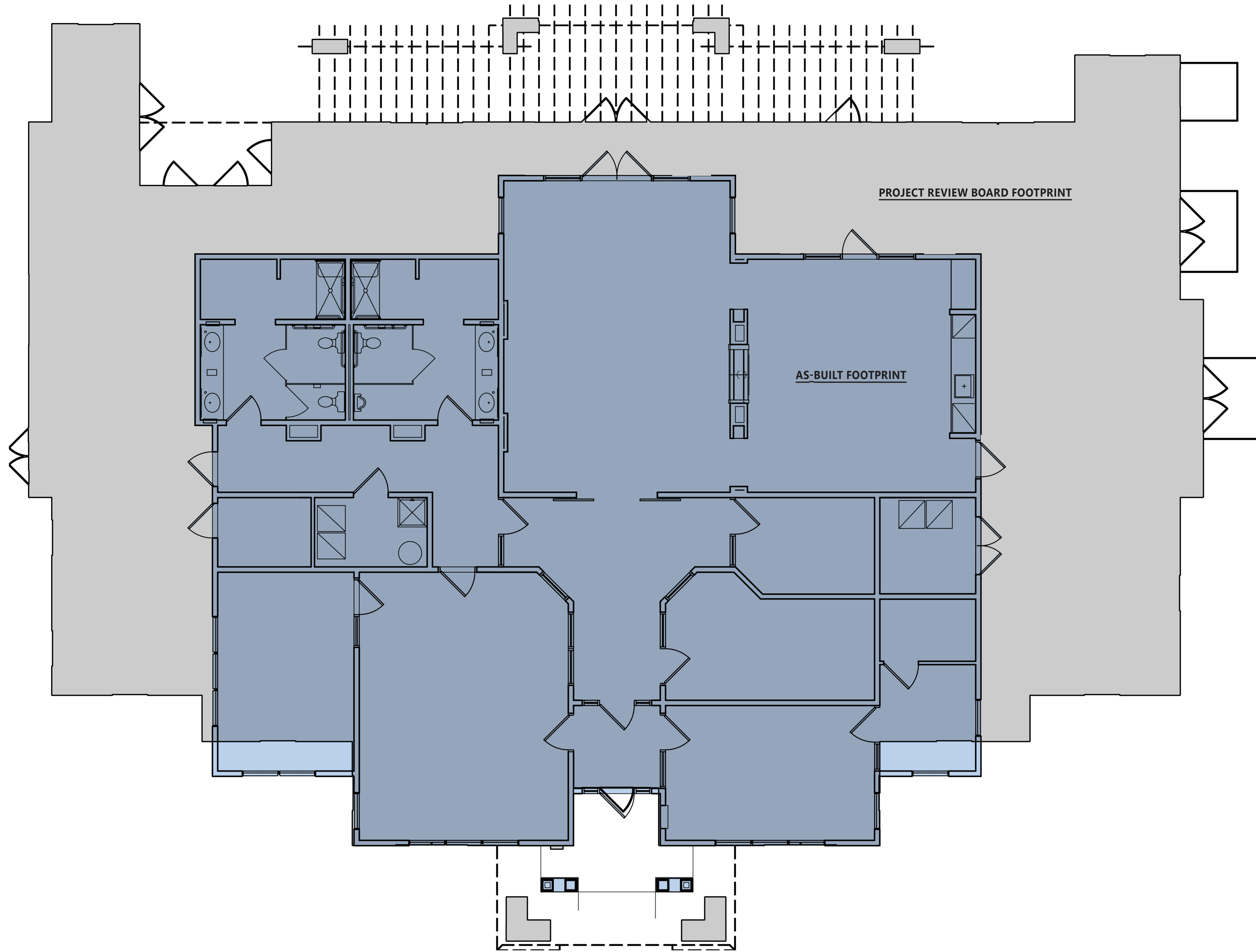
SITE PLAN - AREA 2
OF: **259 MAST LANDING**
6 & B DESERT RD.
FREEPORT, ME
FOR: **MAST LANDING LLC**
C/O FLETCHER, SELSER & DEVINE, LLC
30 MILK STREET, THIRD FLOOR, PORTLAND, ME 04101

DESIGNED	RLM
DRAWN	STI
CHECKED	RLM
DATE	12/02/20
SCALE	1" = 20'
PROJECT	18444

SHEET C102



18444-001 TAB 18444-02



BUILDING FOOTPRINT COMPARISON

RESIDENCES AT CROSSTREE

FREEPORT, MAINE
 DEVINE CAPITAL, LLC

1/4" = 1'-0"
 SEPTEMBER 27, 2022
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2045 ROUTE 35
 WALL, NEW JERSEY 07719
 (856) 429-2001

ELEVATION COMPARISON

CONFORMANCE WITH 527 B, BUILDING DESIGN

The clubhouse is designed in the New England vernacular with vinyl clapboard siding and steeply sloped roofs. More specifically:

- Long, visually monotonous building façades are avoided with no wall plane being more than 50' on the clubhouse. Visually the wall planes on the clubhouse are broken up by the planes of the elevations stepping in and out. The steeply sloped asphalt shingle roof has varying ridge lines. Standing seam shed entry roofs and a cupola further add character to the roof. Variations in building materials of clapboard siding add variety. The fenestration of the clubhouse is generous with windows approximately 3' x 5' in size, many ganged in groups of two and three. Windows are detailed with side and bottom casings, and a wider head casing with crown moulding. Main entries into the building at various points have generous glass doors and sidelights
- The overhanging eaves are finely detailed with wide fascia boards and a wide frieze board. Wide barge boards occur at all gable ends.
- The clubhouse building elements are consistent with all the other buildings in materials, colors, and detailing.
- No metal siding is used on these buildings and finally,
- The building façades will be coordinated closely with the landscape plan.
- The rear of the clubhouse is highly detailed with much fenestration

We believe that this project meets all the requirements of the Performance Standards for Commercial Districts

SIMILARITIES

- Architectural New England style the same
- General hip roof configuration similar
- Predominant gable ends the same
- Window sizes (3' x 5') the same
- Window trim the same
- Building materials – architectural shingles, vinyl clapboard siding, and stone to the underside of the windows the same
- Cupola with spire the same
- Standing seam roof at cupola the same

DIFFERENCES

- Project Review Board building Larger
- Project Review Board window configuration consists of single and double windows vs. as-built windows have an additional triple window configuration
- Project Review Board window muntin pattern is 4/2 vs. as-built window muntin pattern 6/6
- Project Review Board front entry has a portico vs. as-built front entry is recessed with standing seam roof above.
- As-built adds vinyl shakes on gable ends whereas Project Review Board front elevation uses vinyl clapboard siding



AS-BUILT ELEVATION



PROJECT REVIEW BOARD ELEVATION

FRONT ELEVATION COMPARISON

RESIDENCES AT CROSSTREE

FREEMPORT, MAINE
DEVINE CAPITAL, LLC

1/4" = 1'-0"
SEPTEMBER 27, 2022
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ARCHITECTURE

2045 ROUTE 35
WALL, NEW JERSEY 07719
(856) 429-2001

ELEVATION COMPARISON

SIMILARITIES

- Architectural New England style the same
- General hip roof configuration similar
- Predominant center gable the same
- Both buildings have a triple and quadruple storefront entry
- Storefront entry trim the same
- Building materials – architectural shingles, vinyl clapboard siding, and stone to the underside of the windows the same
- Cupola with spire the same
- Standing seam roof at cupola the same

DIFFERENCES

- Project Review Board building Larger
- Project Review Board building has single and double windows vs. no windows in the as-built building
- Palladian window in Project Review Board building is a half-circle vs. the as-built buildings more geometric form
- Project Review Board rear has large trellis where the as-built building has none.
- Project Review Board rear has two single leaf doors where the as-built building has none.



AS-BUILT ELEVATION



PROJECT REVIEW BOARD ELEVATION

REAR ELEVATION COMPARISON

RESIDENCES AT CROSSTREE

FREEMPORT, MAINE
DEVINE CAPITAL, LLC

1/4" = 1'-0"
SEPTEMBER 27, 2022
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2045 ROUTE 35
WALL, NEW JERSEY 07719
(856) 429-2001

ELEVATION COMPARISON

SIMILARITIES

- Architectural New England style the same
- General hip roof configuration similar
- Predominant center gable the same
- Both buildings have two doors
- Building materials – architectural shingles, vinyl clapboard siding, and stone to the underside of the windows the same
- Cupola with spire the same
- Standing seam roof at cupola the same

DIFFERENCES

- Project Review Board building Larger
- Project Review Board building has 3 single windows vs. 2 single and 1 triple window in the as-built building
- Project Review Board window muntin pattern is 4/2 vs. as-built window muntin pattern 6/6
- Project Review Board building has trellis work with a slot window where the as-built building has none
- As-built adds vinyl shakes on gable ends whereas Project Review Board left elevation uses vinyl clapboard siding



AS-BUILT ELEVATION



PROJECT REVIEW BOARD ELEVATION

LEFT SIDE ELEVATION COMPARISON

RESIDENCES AT CROSSTREE

FREEMPORT, MAINE
DEVINE CAPITAL, LLC

1/4" = 1'-0"
SEPTEMBER 27, 2022
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ARCHITECTURE

2045 ROUTE 35
WALL, NEW JERSEY 07719
(856) 429-2001

ELEVATION COMPARISON

SIMILARITIES

- Architectural New England style the same
- General hip roof configuration similar
- Predominant center gable the same
- Both buildings have two doors
- Building materials – architectural shingles, vinyl clapboard siding, and stone to the underside of the windows the same
- Cupola with spire the same
- Standing seam roof at cupola the same

DIFFERENCES

- Project Review Board building Larger
- Project Review Board building has 2 single windows vs. 3 single windows in the as-built building
- Project Review Board window muntin pattern is 4/2 vs. as-built window muntin pattern 6/6
- Project Review Board rear has two paired sets of doors and 1 storefront door where the as-built building has one pair and 1 storefront door
- As-built adds vinyl shakes on gable ends whereas Project Review Board right elevation gable end uses vinyl clapboard siding



AS-BUILT ELEVATION



PROJECT REVIEW BOARD ELEVATION

RIGHT SIDE ELEVATION COMPARISON

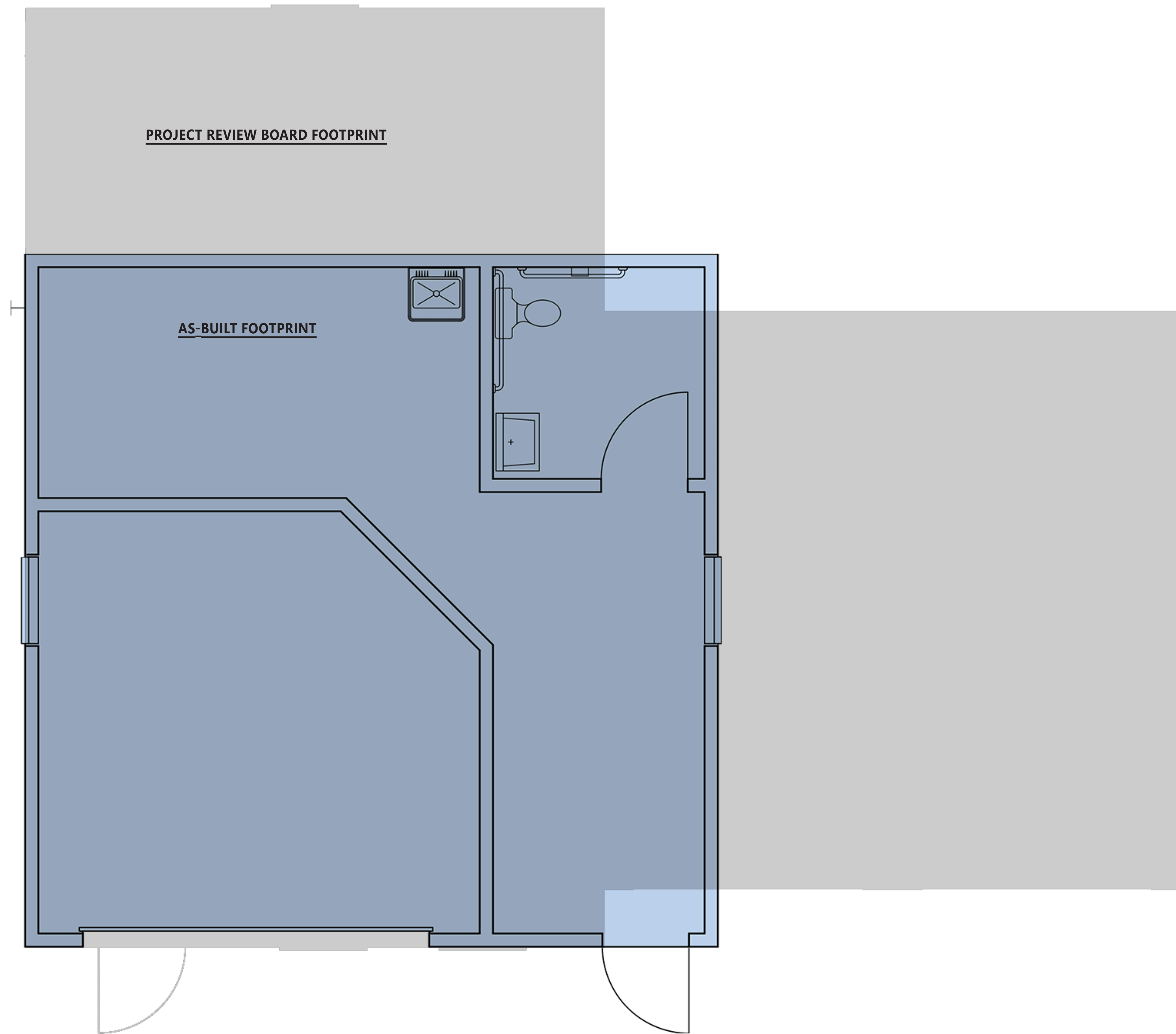
RESIDENCES AT CROSSTREE

FREEMPORT, MAINE
DEVINE CAPITAL, LLC

1/4" = 1'-0"
SEPTEMBER 27, 2022
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WALL, NEW JERSEY 07719
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MAINTENANCE BUILDING FOOTPRINT COMPARISON

RESIDENCES AT CROSSTREE

FREEPORT, MAINE
DEVINE CAPITAL, LLC

1/2" = 1'-0"
SEPTEMBER 12, 2022
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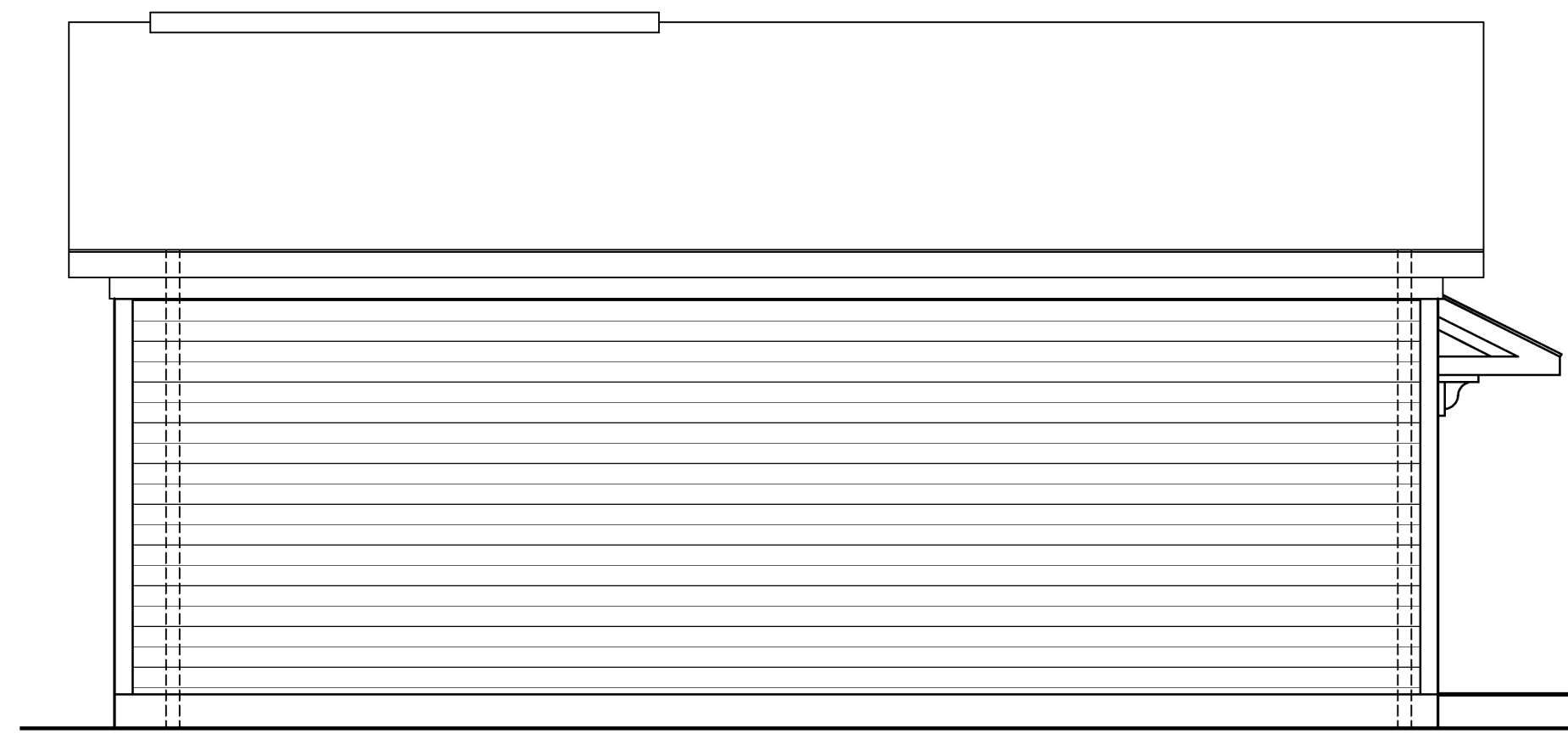
ELEVATION COMPARISON

SIMILARITIES

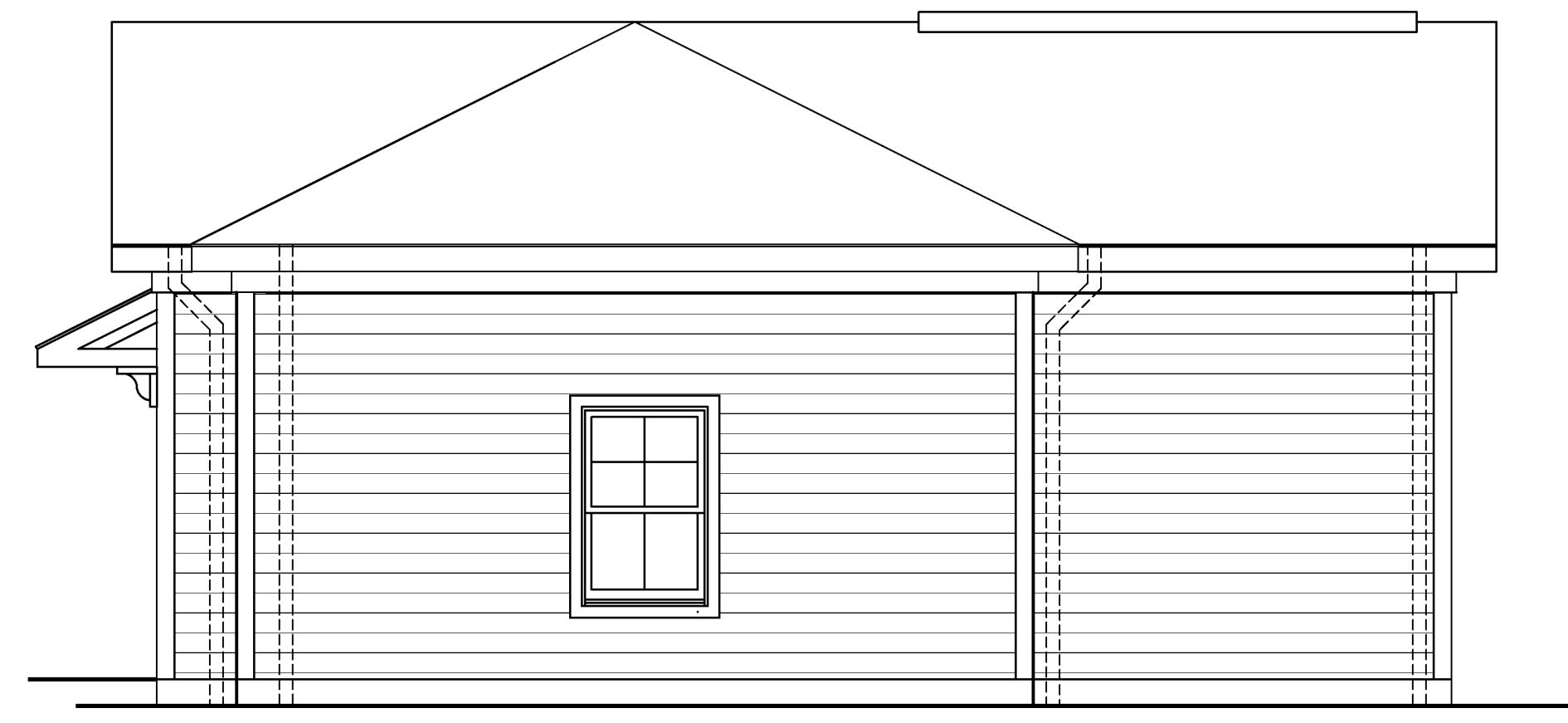
- Architectural New England style the same
- Window sizes (3' x 5') the same
- Window muntin pattern the same
- Window trim the same
- Both right side elevations have 1 window
- Building materials – architectural shingles and vinyl clapboard siding the same

DIFFERENCES

- Project Review Board building larger. Building is “L” shaped whereas as-built is rectangular
- Project Review Board roof is combination of hip and gable whereas as-built is a straight gable roof
- Project Review Board front has 1 door, 2 windows, and 2 garage doors. As built has 1 door and 1 garage door with no windows
- Project Review Board front entry has a shed overhang whereas as-built does not
- Project Review Board rear has 1 window. As built has none
- Project Review Board left side has no windows. As built has one.



LEFT SIDE PROJECT REVIEW BOARD ELEVATION



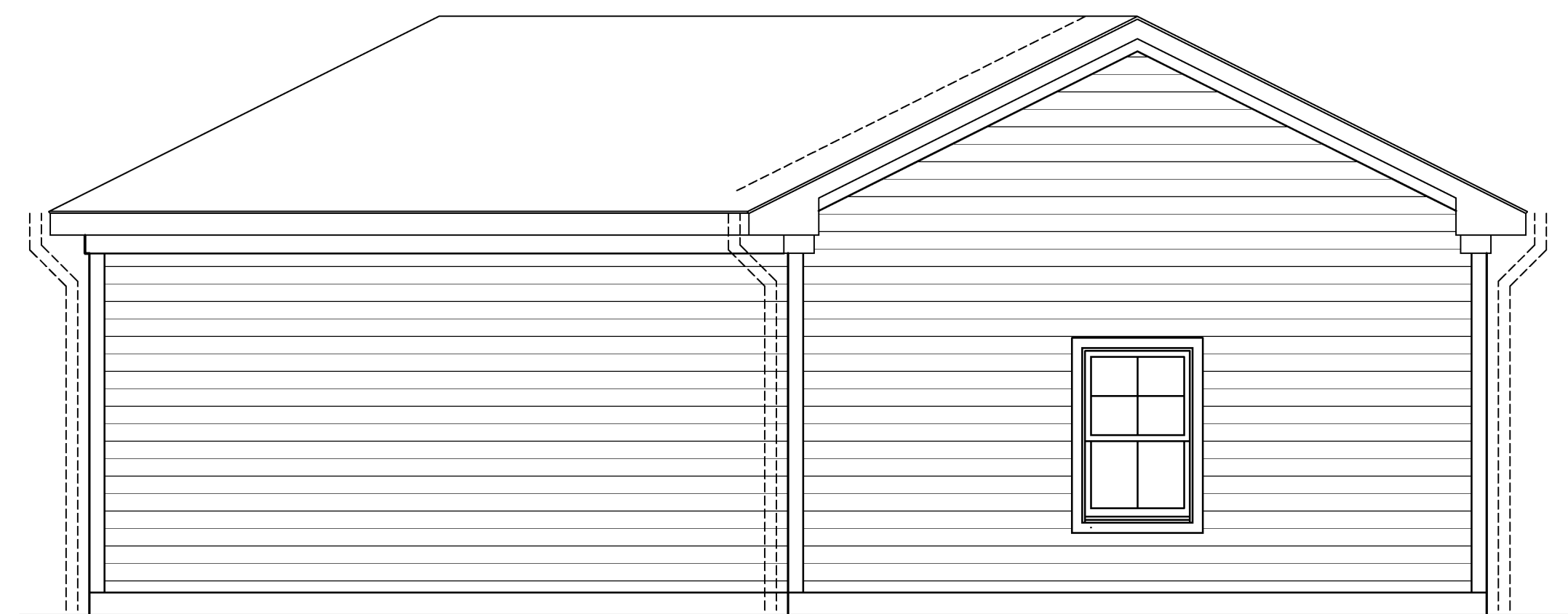
RIGHT SIDE PROJECT REVIEW BOARD ELEVATION



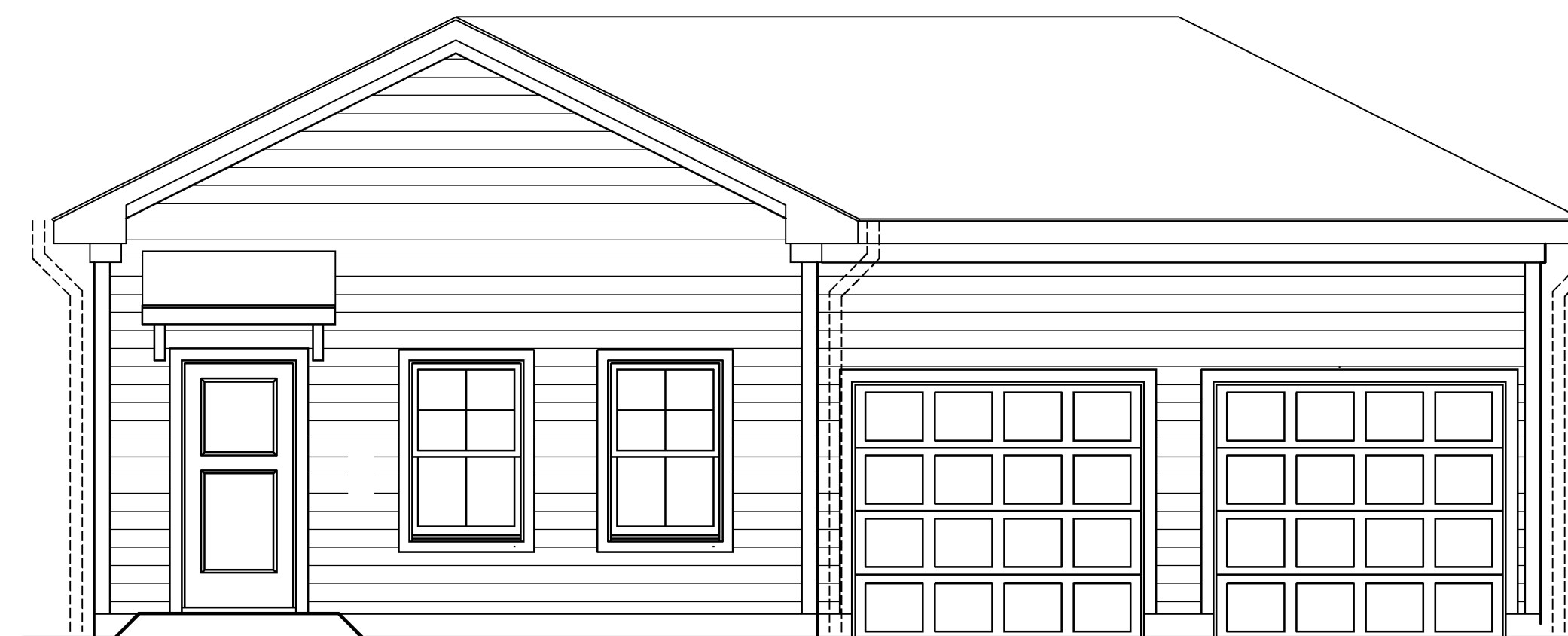
LEFT SIDE AS-BUILT ELEVATION



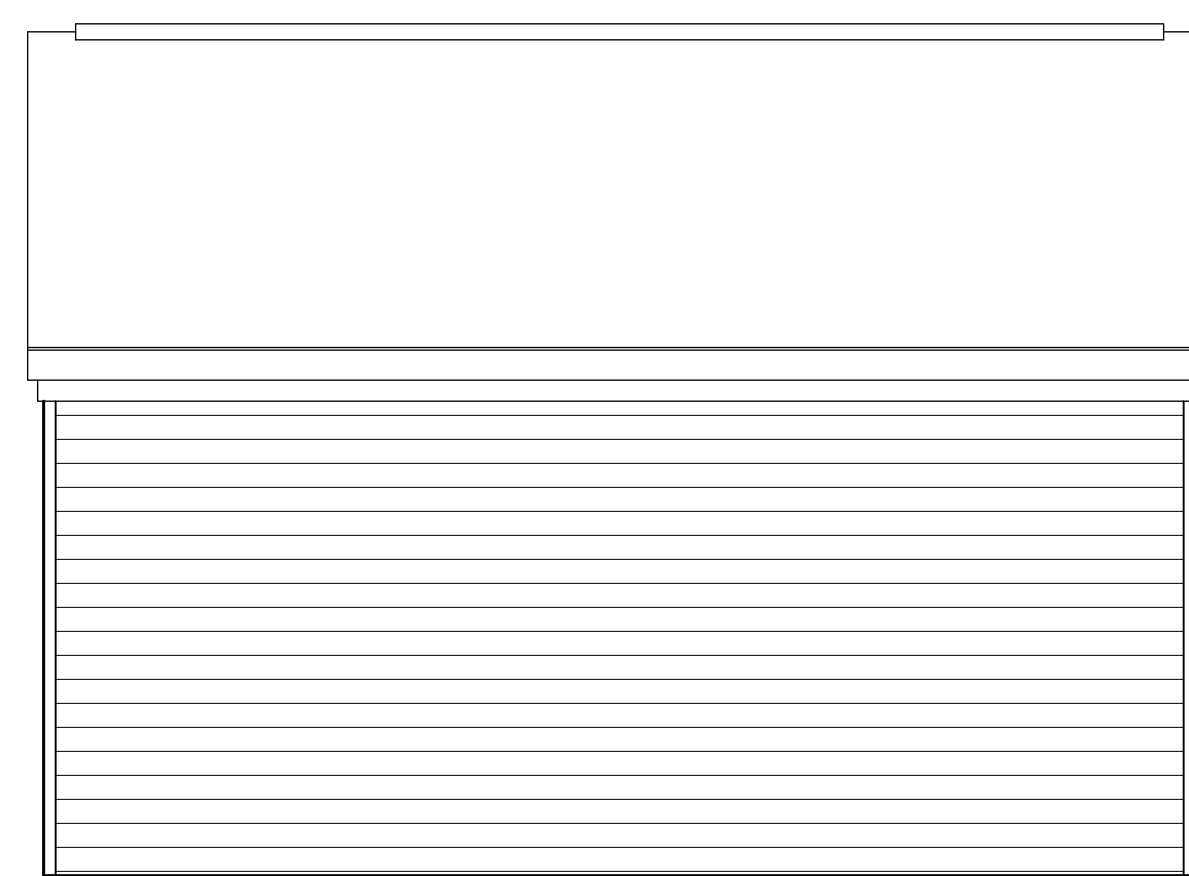
RIGHT SIDE AS-BUILT ELEVATION



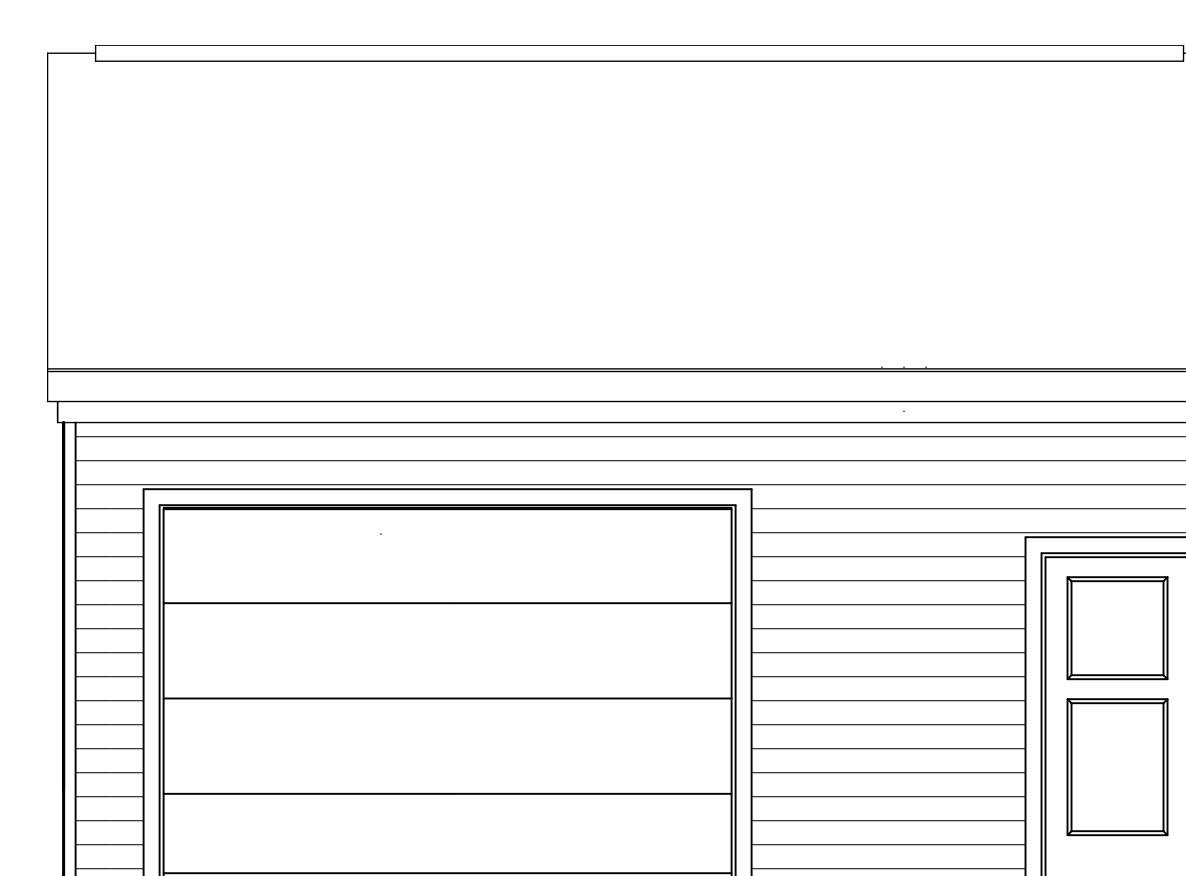
REAR PROJECT REVIEW BOARD ELEVATION



FRONT PROJECT REVIEW BOARD ELEVATION

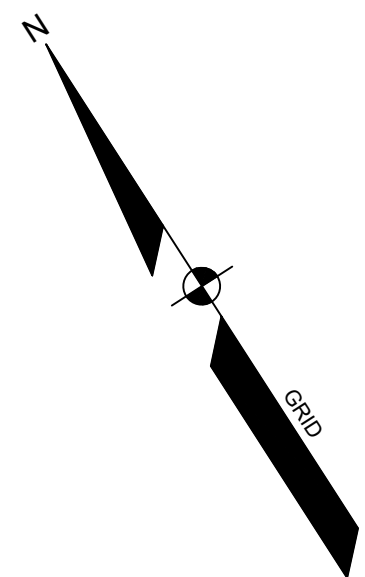


REAR AS-BUILT ELEVATION



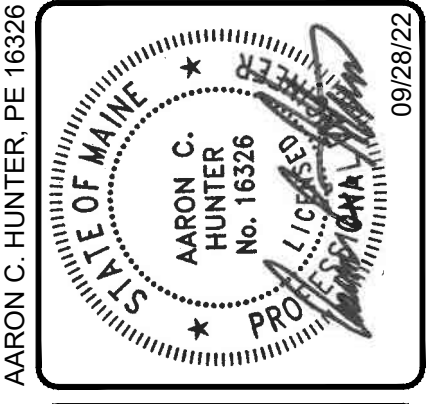
FRONT AS-BUILT ELEVATION

MAINTENANCE BUILDING ELEVATION COMPARISONS



SITE PLAN KEY NOTES:

- 1 VEHICULAR PAVING - SEE TYPICAL PAVEMENT SECTION DETAIL
- 2 SLIPFORM CONCRETE CURB
- 3 ASPHALT SIDEWALK
- 4 ADA SIGN MOUNTED ON BOLLARD
- 5 ADA BLUE PAINTED INTERNATIONAL SYMBOL
- 6 24" WIDE SOLID WHITE PAINT BARS, 24" APART
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- 8 PROJECT SIGN
- 9 CURB TIP DOWN, TYPICAL
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- 11 ADA RAMP
- 12 BID ALT. STONE RETAINING WALL
- 13 CONCRETE BLOCK RETAINING WALL
- 14 VEHICULAR GUARDRAIL
- 15 AREA LIGHT ON 20 FOOT POLE, TYPICAL
- 16 BOLLARD LIGHT, TYPICAL
- 17 TRASH ENCLOSURE FENCING, 6 FT. BLACK VINYL WIRE MESH
- 18 DOG PARK FENCING
- 19 (2) 3 FOOT GATES
- 20 ARTIFICIAL TURF BY ARTIFICIAL TURF EXPRESS (408-916-1649) -
 - COLOR: FIELD GREEN/ OLIVE GREEN
 - YARN TYPE: MONOFILAMENT
 - PILE HEIGHT: 5/8 INCH
 - SUBMIT SHOP DRAWINGS FOR METHOD OF SECURING PERIMETER
- 21 CONCRETE PORCH, TYP.
- 22 HVAC UNITS
- 23 4" WHITE PAINT STRIPING, TYP
- 24 PEDESTRIAN FENCING, 4 FT. CHAIN LINK
- 25 6" CONCRETE SLAB
- 26 STOP SIGN
- 27 TRANSFORMER PAD
- 28 PET WASTE STATION - AMERICAN SAFE WASH MODEL NO. PS 3000, INSTALL POSTS IN 6" X 36" CONCRETE FILLED SONOTUBE, WITHIN REACH OF SIDEWALK, AND 48" ABOVE GRADE.
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- 30 4" CONCRETE PAVING
- 31 EV CHARGING STATION
- 32 JUNCTION BOX



ISSUED TO TOWN FOR SITE PLAN AMENDMENT
 DATE: 09/29/22
 REV. BY: ACH

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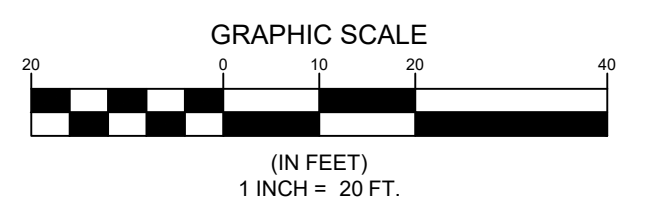
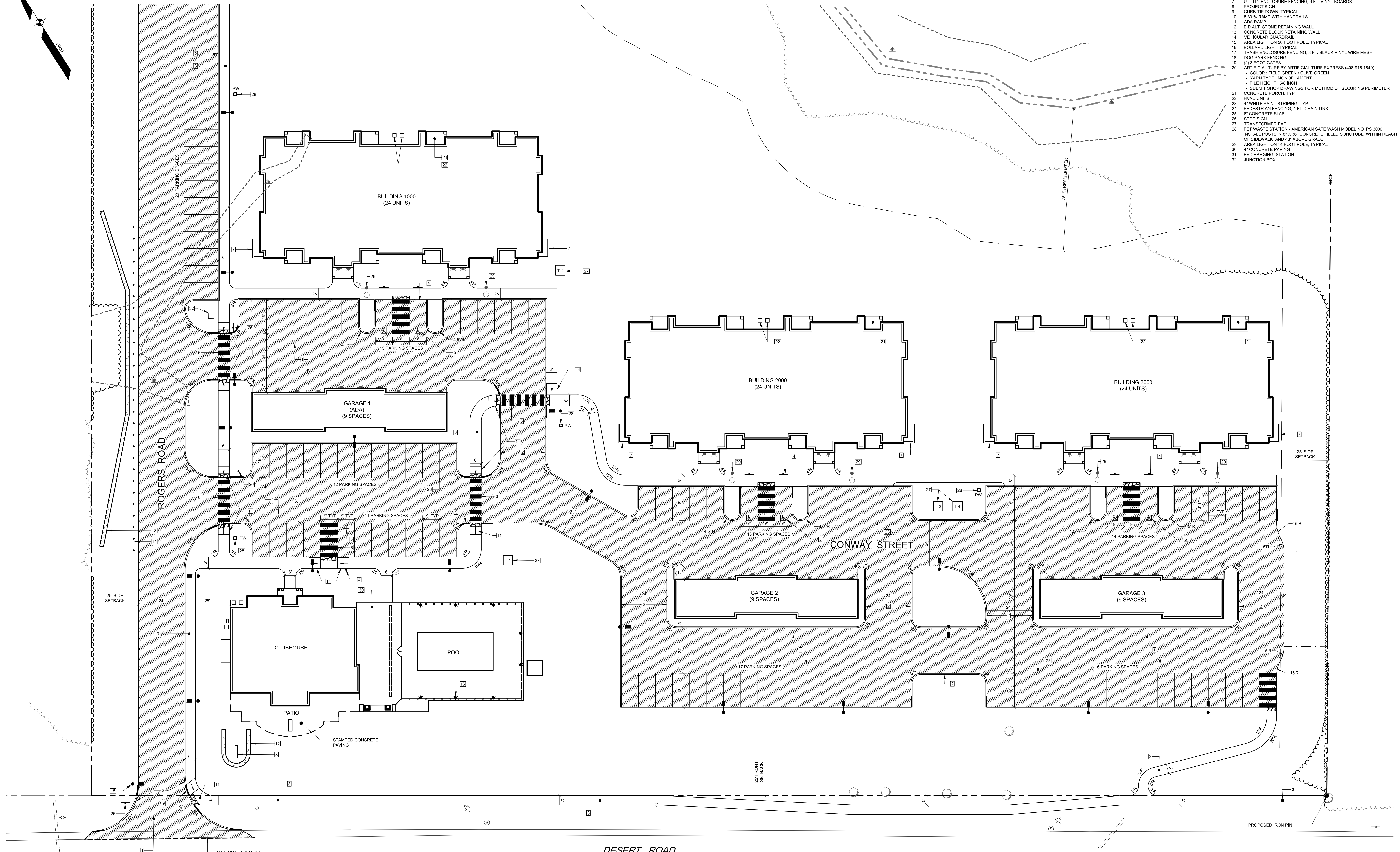
DESIGNED: RLM
 DRAWN: STI
 CHECKED: RLM
 DATE: 12/02/20
 SCALE: 1" = 20'
 PROJECT: 18444

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 South Portland, ME 04106
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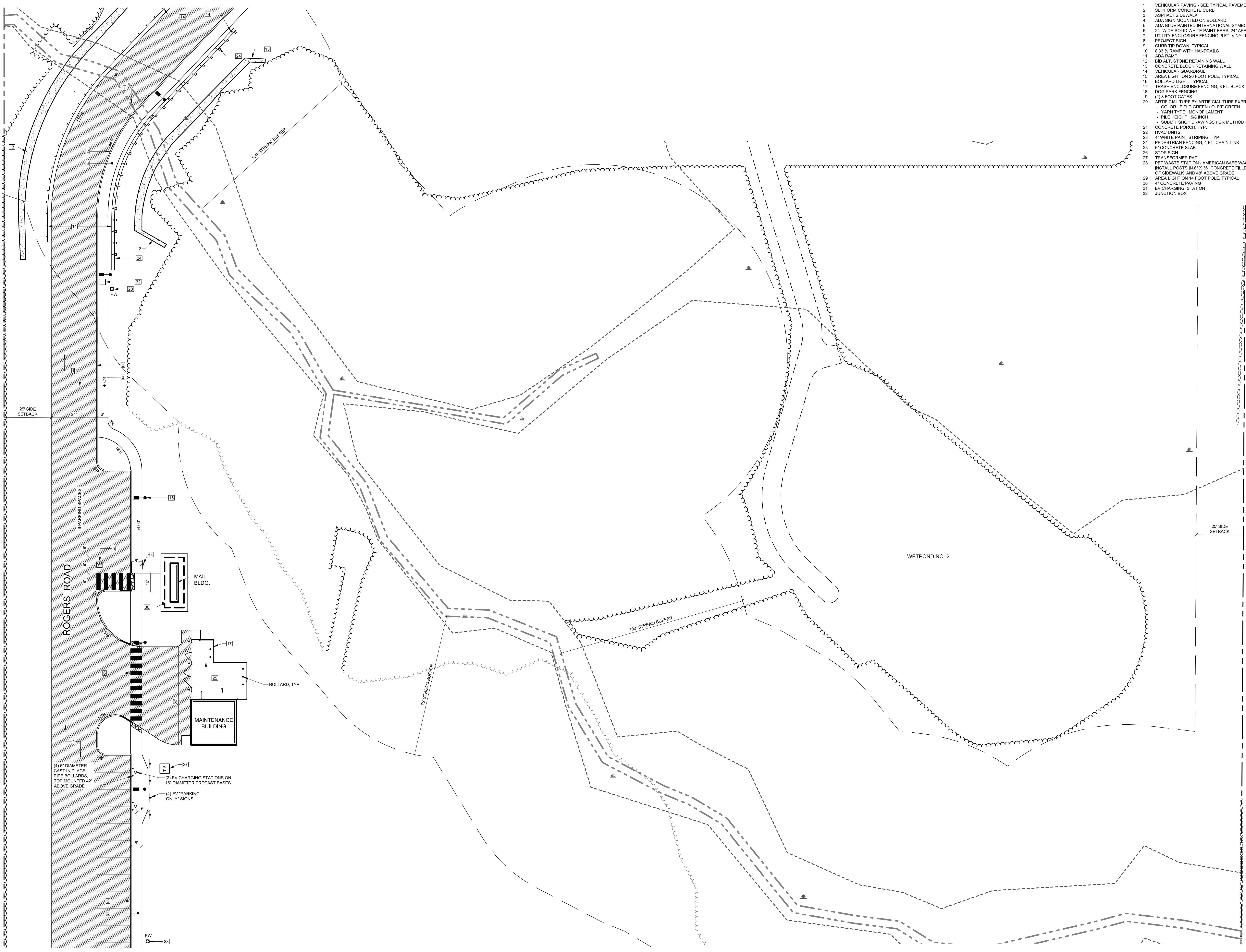
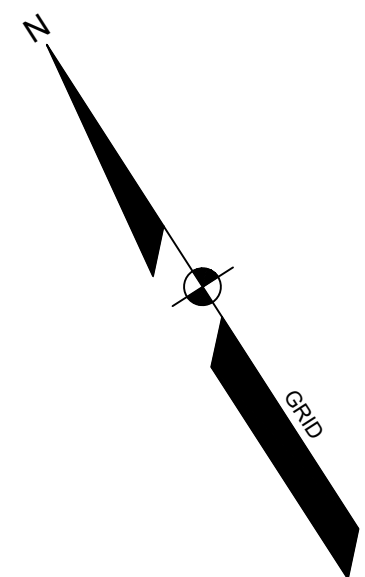
SITE PLAN - AREA 1
 OF: 259 MAST LANDING
 8 & 8 DESERT RD.
 FREEPORT, ME
 FOR: MAST LANDING LLC
 C/O FLETCHER, SELSER & DEVINE, LLC
 30 MILK STREET, THIRD FLOOR, PORTLAND, ME 04101

DESIGNED: RLM
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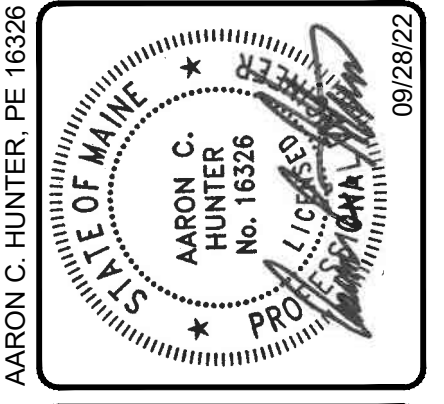
SHEET C101



LEGEND			LEGEND		
EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINE R.O.W.	---	○	DECIDUOUS TREE	○
---	ABUTTER LINE R.O.W.	---	○	CONIFEROUS TREE	○
---	SETBACK	---	○	BOLLARD	○
---	BUILDING	---	○	SIGN	○
---	EDGE WETLAND	---	○	WATER GATE VALVE	○
---	WETLANDS	---	○	WATER SHUT OFF	○
---	STREAM	---	○	HYDRANT	○
---	EDGE PAVEMENT	---	○	SANITARY MANHOLE	○
---	PAVEMENT SAWCUT	---	○	DRAINAGE MANHOLE	○
---	EDGE CONCRETE	---	○	CATCH BASIN	○
---	PAVEMENT PAINT	---	○	TRANSFORMER PAD	○
---	EDGE GRAVEL	---	○	LIGHT POLE	○
---	CURB LINE	---	○	UTILITY POLE	○
---	EDGE OF WATER	---	○		
---	TREELINE	---	○		
---	FENCE	---	○		
---	GUARD RAIL	---	○		
---	RETAINING WALL	---	○		



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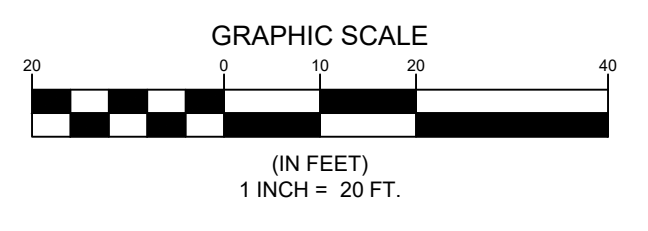


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